

TOWN OF RAYMOND
BYLAW NO. 1124-23

BEING a bylaw of the Town of Raymond, in the Province of Alberta, to amend Bylaw No. 987-11, being the municipality's Land Use Bylaw.

AND WHEREAS the Council of the Town of Raymond is in receipt of a request to redesignate the following lands described as:

Lots 8-10, Block 71, Plan 2039I

Lot 5, Block 70, Plan 2039I

Lot 13, Block 70, Plan 0312808

That Portion of First Street East (Municipally known as 100 East) Lying Between Blocks 70 and 71 on Said Plan Which Lies Between the South Limit of Third Street East (Municipally known as 300 South) and the North Limit of Fourth Street East (Municipally known as 400 South), Plan 2039I

from "General Residential – R-1" to "Direct Control – DC-1", as shown on the map in Schedule 'A', attached hereto.

AND WHEREAS THE PURPOSE of Bylaw No. 1124-23 is to redesignate the land described above to Direct Control and establish the framework for subdivision and development, including the uses and regulations for the district, consistent with the approved conceptual design scheme.

AND WHEREAS the municipality must prepare a corresponding bylaw and provide for its consideration at a public hearing.

THEREFORE, under the authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council duly assembled does hereby enact the following:

1. That the lands described as Lots 8-10, Block 71, Plan 2039I; Lot 5, Block 70, Plan 2039I; Lot 13, Block 70, Plan 0312808; and That Portion of First Street East (Municipally known as 100 East) Lying Between Blocks 70 and 71 on Said Plan Which Lies Between the South Limit of Third Street East (Municipally known as 300 South) and the North Limit of Fourth Street East (Municipally known as 400 South), Plan 2039I, as shown on the attached Schedule A is designated Direct Control – DC-1.
2. That the Direct Control district regulations for the described land are as established in Schedule B, attached.
3. That the conceptual design scheme for the described land is as established in Schedule C, attached.
4. That the Land Use Districts Map of the Town of Raymond Land Use Bylaw No. 987-11 is amended to reflect this designation.
5. Bylaw No. 987-11, being the Land Use Bylaw, is hereby amended and a consolidated version of the Land Use Bylaw reflecting the amendment is authorized to be prepared.
6. This bylaw comes into effect upon third and final reading hereof.

READ a **first** time this ____ day of _____, 2023.

READ a **second** time this ____ day of _____, 2023.

READ a **third** time and finally passed this ____ day of _____, 2023.

Mayor – *Jim Depew*

Chief Administrative Officer – *Kurtis Pratt*

SCHEDULE B
BYLAW NO. 1124-23
DIRECT CONTROL DISTRICT REGULATIONS

1. INTENT

To accommodate a comprehensively planned single-detached residential development, known as Aspen Pointe affecting land described as:

Lots 8-10, Block 71, Plan 2039I

Lot 5, Block 70, Plan 2039I

Lot 13, Block 70, Plan 0312808

That Portion of First Street East (Municipally known as 100 East) Lying Between Blocks 70 and 71 on Said Plan Which Lies Between the South Limit of Third Street East (Municipally known as 300 South) and the North Limit of Fourth Street East (Municipally known as 400 South), Plan 2039I

2. DEFINITIONS

As defined in Part 5: Definitions of the Land Use Bylaw.

3. USES

(1) Permitted Uses

Dwelling:
Single-detached site-built
Home occupation 1

(2) Discretionary Uses

Parks and playgrounds
Natural area
Shipping container, temporary
Show homes
Temporary sales office
Solar collector, roof-mounted

(3) Prohibited Uses

Accessory structures and uses, except personal satellite dishes, roof-mounted less than 1 m (3 ft) in diameter
Day home
Dwelling:
Accessory
Apartment
Duplex
Multi-unit
Semi-detached
Single-detached, manufactured, moved-in, prefabricated
Dwelling group
Home occupation 2
Travel trailers, motor homes or other recreational vehicles used as dwellings
And any other use not listed as a permitted or discretionary use

SCHEDULE B
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4. GENERAL DEVELOPMENT STANDARDS

The General Development Standards contained in Part 2 of the Land Use Bylaw shall apply, unless otherwise specified in the standards of this district.

5. MINIMUM LOT SIZE

As per the approved conceptual design scheme in Schedule C.

6. MINIMUM SETBACK REQUIREMENTS

Dwelling, single-detached site-built: As per the approved conceptual design scheme in Schedule C.

All Other: As required by the Approval Authority in accordance with any applicable use specific standards of the Land Use Bylaw.

7. MAXIMUM LOT COVERAGE

Dwelling, single-detached site-built: 45%

All Other: As required by the Approval Authority in accordance with any applicable use specific standards of the Land Use Bylaw.

8. MINIMUM FLOOR AREA

Dwelling, single-detached site-built: 93 m² (1,000 ft²)

9. MINIMUM BUILDING WIDTH

Dwelling, single-detached site-built: As per the approved conceptual design scheme in Schedule C.

10. MAXIMUM BUILDING HEIGHT

Dwelling, single-detached site-built: 10.1 m (33 ft)

11. DWELLING DESIGN AND APPEARANCE

(1) The developer of Aspen Pointe shall be responsible for regulating desired design, character and appearance of dwellings through the Aspen Pointe Architectural Design Guidelines as per the approved conceptual design scheme in Schedule C.

(2) The Approval Authority may impose conditions relating to the orientation, exterior finish, and roof line of a dwelling to ensure compatibility with the Aspen Pointe Architectural Design Guidelines.

12. LANDSCAPING

(1) The front yard and secondary front yard of a lot must be comprehensively landscaped, except those areas occupied by sidewalks and driveways, to the satisfaction of the Approval Authority.

(2) Landscaping shall consist of any or all of the following:

(a) vegetation (e.g., trees, shrubs, lawn, flowers);

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- (b) ground cover of crushed gravel on side yards;
- (c) innovative landscaping features, as approved by the Approval Authority.
- (3) No cottonwood tree of any specie or variety shall be planted.
- (4) The Approval Authority may impose additional landscaping or screening requirements on a development approval for a permitted or discretionary use to improve the quality or compatibility of the proposed use.

13. FENCING

- (1) No fence, wall, gate or other means of enclosure shall be permitted in the front yard, secondary front yard, side yard, or rear yard of a lot except for subdivision perimeter fencing in accordance with the approved conceptual design scheme in Schedule. C.
- (2) Fencing, walls, gates, or other means of enclosure shall not be permitted to be constructed within any developed or undeveloped roadway or laneway right-of-way. Removal of such fencing, walls, gates, or other means of enclosure will be at the property owner's expense.
- (3) Subdivision perimeter fencing is subject to approval of the Development Officer in accordance with the approved conceptual design scheme in Schedule C and may either be incorporated into the subdivision development agreement or subject to development permit approval for each phase as a permitted use.

14. OFF-STREET PARKING AND DRIVEWAY REQUIREMENTS

- (1) Minimum off-street parking requirements are as follows:
 - Dwelling, single-detached site built: 2 parking spaces
 - All Other: As required by the Approval Authority in accordance with any applicable use specific standards of the Land Use Bylaw.
- (2) Off-street parking and driveways shall be required to be concrete or paved as a condition of approval.
- (3) Off-street parking and driveways shall be constructed in a manner which will permit adequate drainage, snow removal and maintenance.
- (4) Vehicular access for corner lots should be limited to locations aligning with the garage orientation in accordance with the approved conceptual design scheme in Schedule C.
- (5) Only one driveway per lot is permitted for single-detached residential development.
- (6) Driveway standards for residential use are as follows:
 - (a) Minimum width: 6.1 m (20 ft)
 - (b) Maximum width: 18.0 m (30 ft)
 - (c) Setback from lane: 3.0 m (10 ft)
 - (d) Setback from intersection of public roadways: 6.1 m (20 ft)

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15. USE SPECIFIC STANDARDS

(1) Home Occupation 1

- (a) A home occupation 1 is limited to a small-scale, home occupation contained within the principal dwelling involving:
 - (i) office use only;
 - (ii) no outdoor storage and/or display of goods; and
 - (iii) no customer/client visits to the residence.
- (b) A home occupation shall be incidental and subordinate to the principal residential use of the dwelling and shall not change the external appearance or character of the dwelling. There shall be no business activities associated with the home occupation conducted on the lot outside of the dwelling.
- (c) The operator of the home occupation shall be a resident of the dwelling.
- (d) No offensive noise, vibration, electrical interference, smoke, dust, odours, heat or glare shall be produced by the home occupation.
- (e) No use shall cause an increase in the demand placed on any one or more utilities (water, sewer, garbage, etc.) such that the combined total consumption for a dwelling and its home occupation exceed the normal demand for residences in the area.
- (f) A home occupation shall not include any use that would in the opinion of the Development Officer, materially interfere with or affect the use or enjoyment of neighbouring properties.
- (g) Signage advertising a home occupation is not permitted.
- (h) The development permit for the use shall be valid only for the period of time the property is occupied by the applicant for such approved use and is not transferable to another location or another person.
- (i) The issuance of a development permit in no way exempts the applicant from obtaining a business license from the Town and any other Provincial approvals that may be required.

(2) Other Use Specific Standards

Use specific standards for show homes, temporary shipping container, and roof-mount solar collector are as prescribed in Part 3: Use Specific Standards of the Land Use Bylaw.

16. DEVELOPMENT APPROVAL AUTHORITY

For the purposes of this Direct Control bylaw, the Approval Authority for:

- (a) **Permitted Uses** – is delegated to the Town of Raymond Development Officer. The Development Officer may refer the application to the Municipal Planning Commission in accordance with Permitted Use Applications procedures in the Administrative section of the Land Use Bylaw.
- (b) **Discretionary Uses** – is delegated to the Town of Raymond Development Officer. The Development Officer may refer the application to the Municipal Planning Commission in accordance with Permitted Use Applications procedures in the Administrative section of the Land Use Bylaw.

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17. VARIANCE OF BYLAW PROVISIONS

No variance to the standards established under this Direct Control district or the applicable Parts of the Land Use Bylaw are permitted without authorization of Council through a bylaw amendment.

18. OTHER PROCESSES, REQUIREMENTS AND PROVISIONS

All other processes, requirements, and provisions are as established in Parts 1-5 of the Land Use Bylaw, as applicable.

19. SUBDIVISION

In accordance with the approved conceptual design scheme in Schedule C.

CONCEPTUAL DESIGN SCHEME

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403.915.3006

FEBRUARY 3, 2023 2.0

ASPEN  **POINTE**
ADULT LIVING HOMES



R.K. HEGGIE GRAIN
EST. 1959

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1.0 INTRODUCTION



1.1 Background

The purpose of this report is to describe the site and its surrounding lands uses, and outline the development proposal, summarize the relevant planning policies and regulations, outline the proposed draft zoning by-law, and provide the justification and rationale for approval.

Ridgeland Developments Ltd. is a subsidiary of R.K Heggie Grain Ltd. located in Raymond Alberta. We propose to develop a parcel of land located in Raymond for the development of residential properties for 55+ Active Adult Living single unit homes. This is a development solution that we believe is uniquely suited to the needs of the community, the Town of Raymond, and the site itself. This development will be comprised of residential lots. The area will be zoned to the Aspen Pointe Direct Control Land Use District for the purposes of establishing characteristic development standards. This will allow the Developer to customize specific characteristic development standards.

The Developer owns the three titled properties in proximity to each other that comprises the development. The development area is separated by the Closed Road parcel of 100 East. The Town of Raymond owns the 1.5 acre Closed Road (which is titled property).

The Developer is proposing to purchase the closed road parcel in phases and will be utilizing it for:

- A. Dedicating portions of the north end of the parcel as road allowance to serve the development.
- B. Utilizing portions of the south end of the parcel as community amenity green space that is to be comprehensively developed as laid out in the Conceptual Design Scheme.



1.2 Purpose and Intent of the Concept Design Scheme

The Project Site comprises 7.36 acres and is located between 50 E and 150 E which is currently zoned General Residential (R1). There is a need to rezone the Project Site to the Aspen Pointe Direct Control District to accomplish the goals of the development. The purpose of the Aspen Pointe Conceptual Design Scheme is to establish and provide a design framework to facilitate the development of an innovative 55+ Active Adult Living community.

The Aspen Pointe Direct Control District development standards are different from the General Residential R1 development standards.

Example:

Smaller lot sizes, different development standards for fences, setbacks and restricted permitted and discretionary uses for which the Town of Raymond is authorized to issue a development permit, etc.

1.3 Developers Vision for the Development

Ridgeland Developments Ltd. is a subsidiary of R.K Heggie Grain Ltd. located in Raymond Alberta. We propose to develop a parcel of land located in the Town of Raymond for 55+ active living single unit homes and is proposing a development solution that we believe is uniquely suited to the needs of the community, the Town of Raymond, and the site itself.

The new 55+ community of Aspen Pointe, situated on **Lots 8 to 10 Block 71 Plan 20391, Lot 13 Block 70 Plan 031 2808, Lot 5 Block 70 Plan 031 031 2808 and Closed Road parcel of 100 E** within SE ¼ Sec. 8, Twp. 6, Range 20 w of 4th mer. of the Town of Raymond, will be a community with distinct character and unique personality.

The site was intentionally selected for Homes at Aspen Pointe because of its location, setting and unique features, including panoramic views of the Ridge, and proximity to the excellent walking path and green strip.



The site is a desirable setting for aging in place development given its beauty and quiet location. Aspen Ponte also provides a unique and much needed transitional housing of our aging population. The development will also build a sense of community within the local area.

Homes at Aspen Pointe

55+ Active Living Community

1.4 Principle Development Consideration and Objectives

Homes at Aspen Pointe will have the following conceptual Design Scheme considerations:

- To establish the appropriateness of the **Lots 8 to 10 Block 71 Plan 2039I, Lot 13 Block 70 Plan 031 2808, Lot 5 Block 70 Plan 031 031 2808 and Closed Road parcel of 100 E** within SE ¼ Sec. 8, Twp. 6, Range 20 w of 4th mer. of the Town of Raymond the land use proposed by Ridgeland Developments while protecting and enhancing the adjacent community. The Developer is proposing to purchase the closed road parcel in phases.
- To facilitate sustainable subdivision of the subject development site within the context of the Town of Raymond and other municipal statutory plans, policies, and procedures.
- To accommodate the phased development as it applies to subject development site.
- The location of the development is situated to allow residents access to local supportive living facilities (Ridgeview Lodge and Good Sam's).
- The quality of an active living lifestyle.
- Natural green space will be located on the purchased 100 E Closed Road Allowance from the Town of Raymond. The planned green space will allow people to interact daily and also contribute to the well-being of the residents. The benefits of green space are extensively recognized as the potential to provide opportunities to enhance wellbeing in different ways:
 - Physical wellbeing through physical activity and fresh air.
 - Mental well-being through stress reduction through healthy living.

- Social wellbeing through social integration, engagement and participation.
- The Town of Raymond as a whole will benefit as it will be a gathering point for social interaction for visitors to the Aspen Pointe development, as well as the Ridgeview Lodge and Good Sam's facilities.
- Access to the existing Town of Raymond green strip and the existing pathway system to encourage residents to maintain both physically mobile and social relationships.
- Water and wastewater services will be provided through a tie to existing municipal infrastructure.
- Transportation will be utilized by public roads constructed to municipal infrastructure standards.



2.0 PROPOSED SUBDIVISION

2.1 Legal Description and Ownership

The subject site is located within the urban area of the Town of Raymond, AB.

Lots 8 to 10 Block 71 Plan 20391, Lot 13 Block 70 Plan 031 2808, Lot 5 Block 70 Plan 031 2808 and Closed Road parcel of 100 E within SE ¼ Sec. 8, Twp. 6, Range 20 w of 4th mer. of the Town of the Town of Raymond.

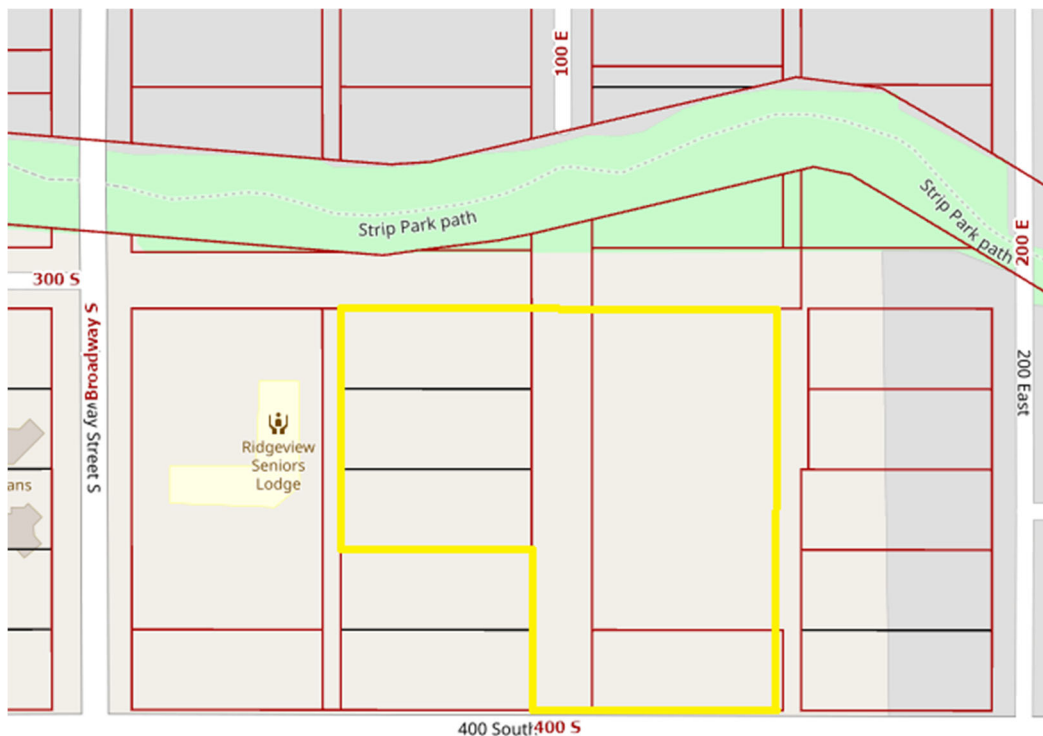
The subject site has an area of 7.360 acres (2.98 hectares).

The land is currently owned by RK Heggie Grain Ltd. of Raymond, AB.

The Developer owns the three titled properties in proximity to each other that comprises the development. The development area is separated by the Closed Road parcel of 100 East. The Town of Raymond owns the 1.5-acre 100 E Closed Road Parcel (which is a titled property).

The Developer is proposing to purchase the closed road parcel in phases

The subject site has 606.34 ft of frontage on 300 St S. The property is at the edge of the south urban boundary limit of Raymond. Refer to Figure #1



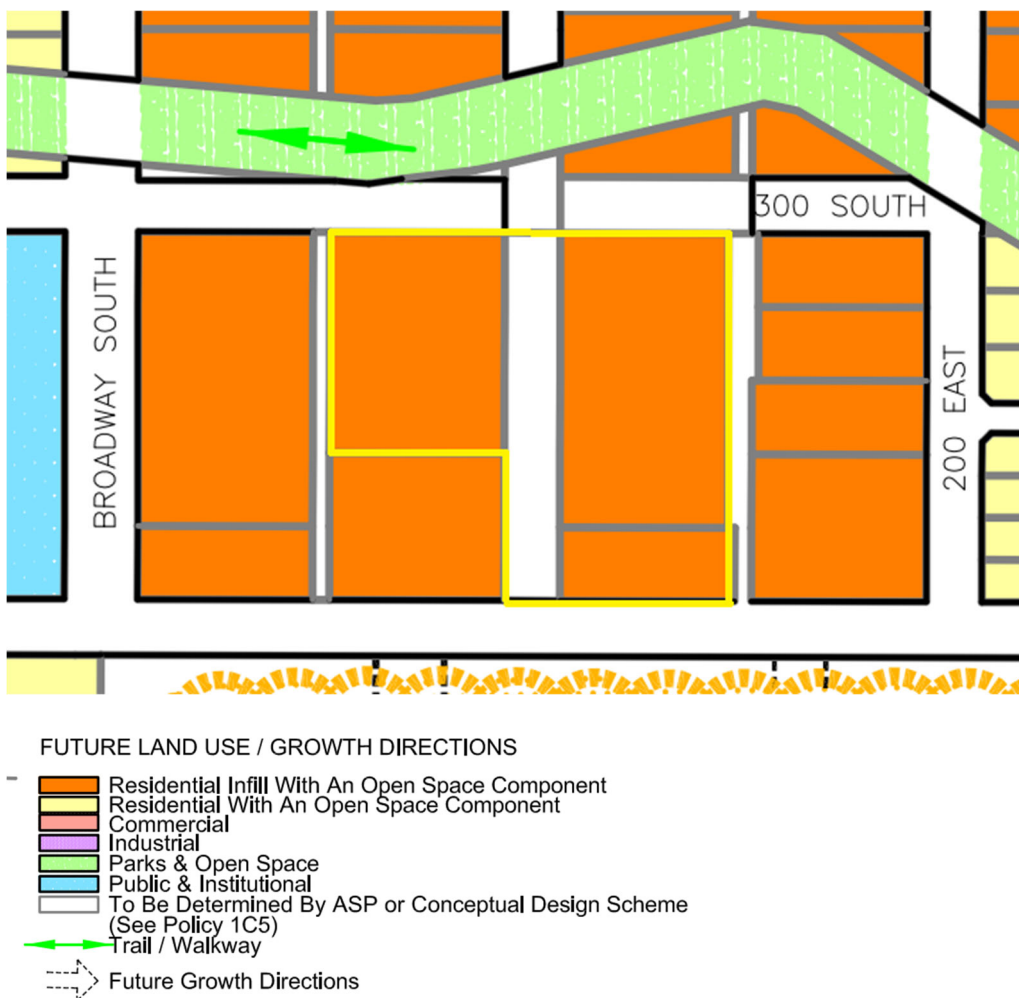
PROPERTY BOUNDARY - FIGURE #1

2.2 Current Site Conditions

Currently the subject site is prairie grass bare land with no buildings or structures. The perimeter of the property has a barbed wire fence.

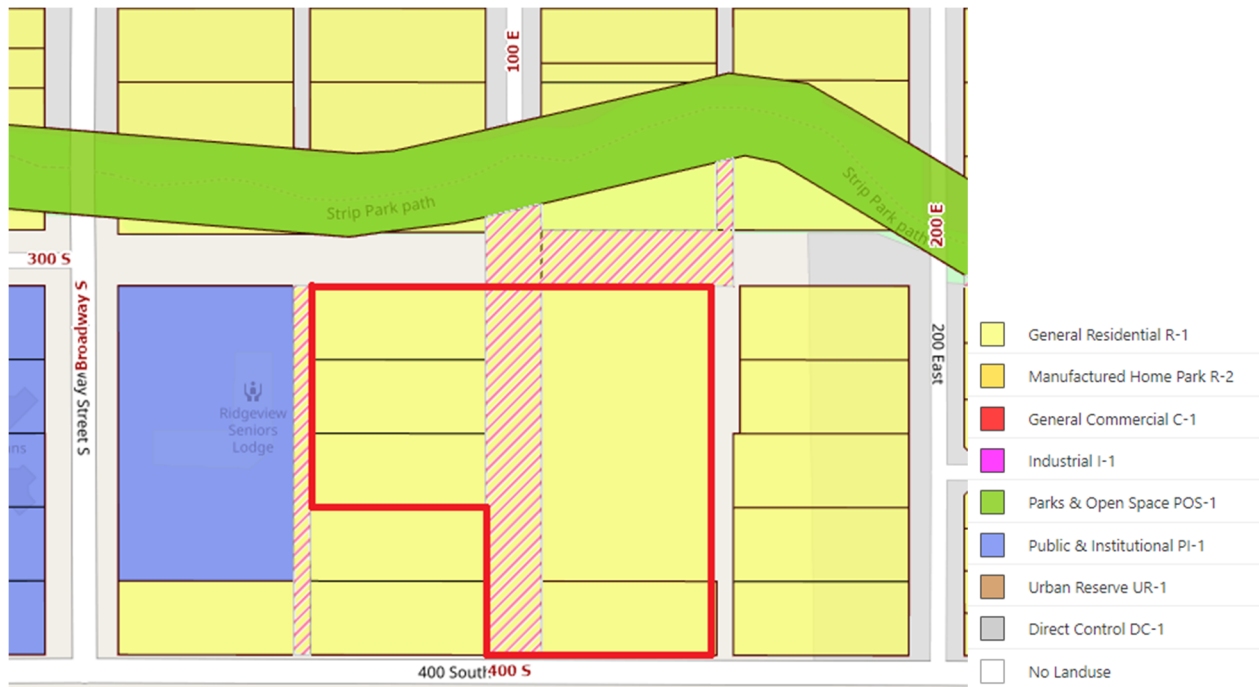
2.2.1 Surrounding Land Use

The surrounding property is designated General Residential – (R1) and is residential consisting of single detached dwellings. Immediately to the west of the subject site is a retirement facility (Ridgeview Lodge). The subject site boundary is 400 south which is the southern boundary for the Town of Raymond. A clipping from the Future Land Use and Growth Direction from the Town of Raymond is shown in Figure #2. This shows the development plan is for Residential Infill with an Open Space Component.



SURROUNDING LAND USES - FIGURE #2

Current and surrounding land use illustrates the community context and land use within proximity to the subject area at the time of the Conceptual Design Scheme preparation. Adjacent land use to the development is shown in Figure #3.



ADJACENT LAND - FIGURE #3

The location of the development provides convenient access to the newly constructed Ridgeview Lodge and the Good Sam's facilities. Our extensive research has determined that there is a critical housing need in the Town of Raymond for those adults who are seeking a low-maintenance lifestyle, but don't require access to senior care services and want to down-size and transition into a 55+ Active Adult Living Community. The development has been designed for middle-aged adults usually 55 and older who want to live independently but still have access to amenities, community programs and convenient services. With active living at the Homes at Aspen Pointe, landscaping and snow removal are included as a part of the proposed Home Owners Association (HOA) monthly fees. Residents do not have to worry about lawn care and snow removal.

2.3 Development Phases

The Homes at Aspen Pointe development is expected to be developed in 6 phases as illustrated in Figure 4. In order to promote the most efficient development of the community, the project is to be completed in phases. The development of the phases will be in sequence from Phase 1 to 6. Drawing #2 illustrates the proposed developmental phases with a potential development sequence. The developer may subdivide multiple phases at once or further break it down into smaller manageable subphases.

The applicant will install all necessary stormwater management, servicing, transportation infrastructure and other improvements including the improvements of open spaces that serve the development. The infrastructure will be installed as is required for each phase.

Dedication of road right of way will be as follows:

Phase 1 and 2- no roadway right of way will be dedicated.

Phase 3 – will see dedication of roadway within its extent as outlined in Drawing #2.

Phase 4 – will see dedication of roadway within its extent as outlined in Drawing #2, including the road dedication for the temporary cul-de-sac.

Phase 5 – will see dedication of roadway within its extent as outlined in Drawing #2

Phase 6- will see the closure of a portion of the cul-de-sac roadway and the title transferred back to the developer so it can be incorporated back into moving the westerly property line of Units 19& 20 in line with the westerly property line of Unit 21. See Section 2.4.6 Phase 6 for more comments.

2.3.1 Phase 1

Phase 1 subdivision within the Planning Area comprises of 1.38 Acres and will create six (6) parcels.

2.3.2 Phase 2

It is anticipated that Phases 1 and 2 will be submitted concurrently to comprise the initial subdivision application.

Phase 2 subdivision within the Planning Area comprises 1.58 Acres and will create six (6) parcels. The storm pond and temporary turnaround at the east end of 300 South will also be completed during this phase.

2.3.3 Phase 3

Phase 3 subdivision within the Planning area comprises of 1.73 Acres and will create eight (8) parcels. The walking path and green space between Lot 23 and Lot 24 will be developed as part of Phase 3.

2.3.4 Phase 4

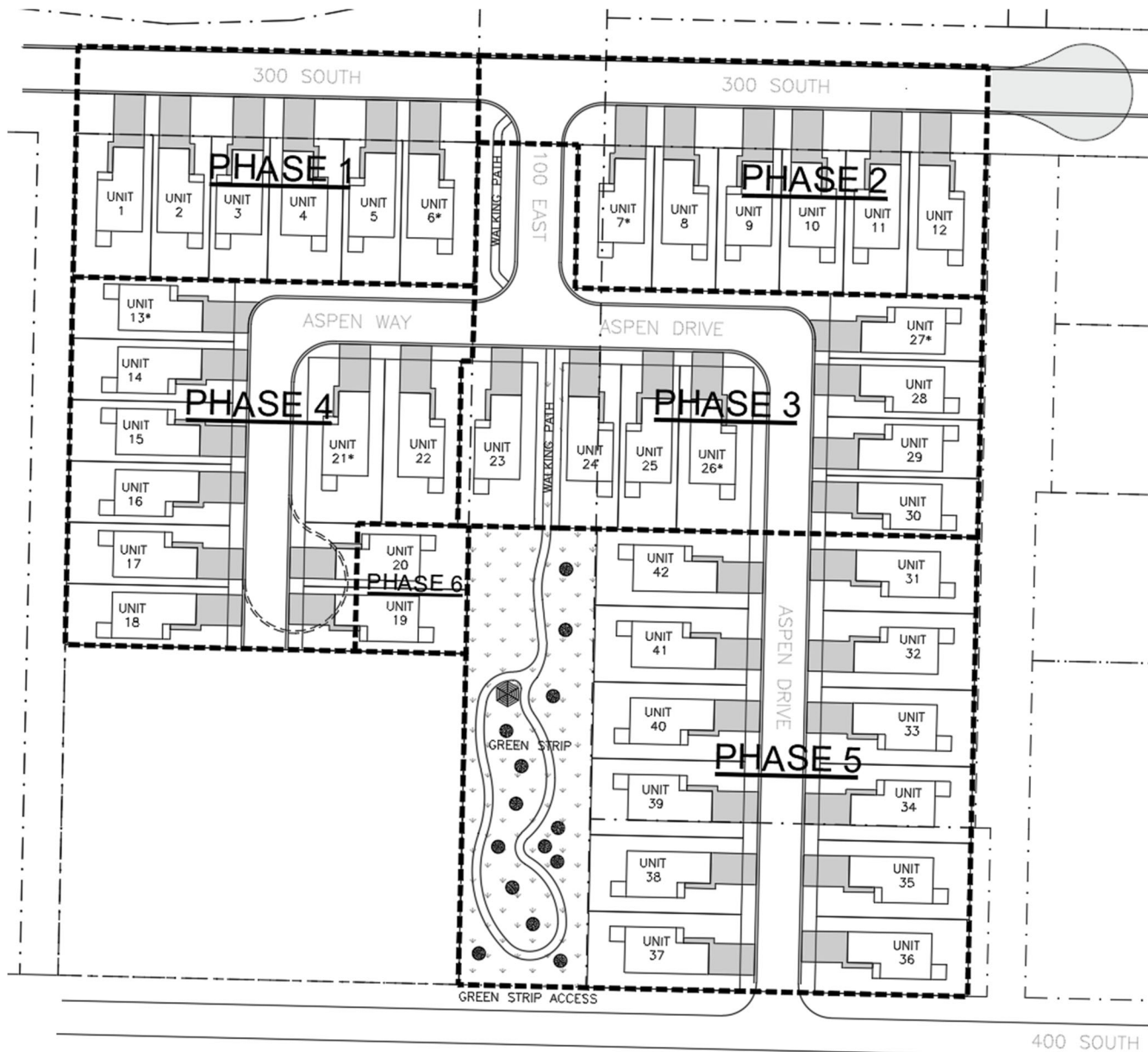
Phase 4 subdivision within the Planning area comprises of 1.68 Acres and will create eight (8) parcels and will see the dedication of roadway within it's extent as outlined in Drawing #2, including the full road dedication for the cul-de-sac on "Aspen Way".

2.3.5 Phase 5

Phase 5 subdivision within the Planning area comprises of 3.26 Acres and will create twelve (12) parcels. The development of the Green Space and walking trail in the Green Strip area will be a part of Phase 5 (or earlier).

2.3.6 Phase 6

Phase 6 subdivision will create two lots for Unit 19 and Unit 20 and may proceed as outlined in Drawing #2 when "Aspen Way" roadway is continued further south onto the adjacent lands (*Lots 6 to 7 Block 71 Plan 20391 within SE ¼ 8, Twp. 6 Range 20 w of 4th mer*). Upon extension of "Aspen Way" to the south, a road closure application will be initiated by the Town of Raymond on behalf of the Developer to close the easterly portion of the cul-de-sac which was dedicated in Phase 4 to be unlikely, the Developer he alternative Phase 6 layout shown in Drawing #2a.



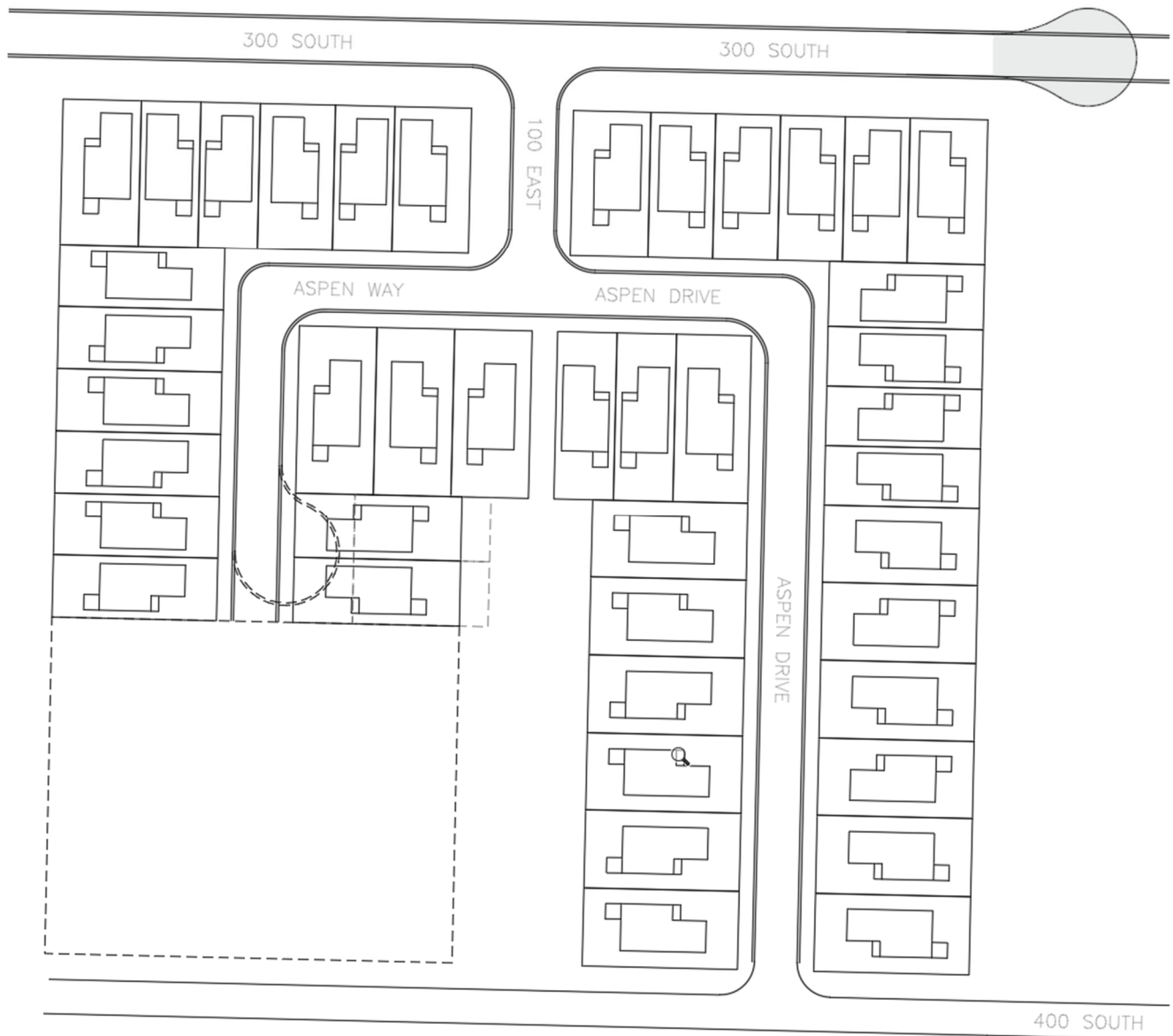
PHASED DEVELOPMENT - FIGURE #4

2.3.7 Subdivision Perimeter Fencing

See Drawing #18 for locations of perimeter fencing. Fences will be installed as phases are completed.

2.4 Street Names

The street names as shown on Figure-5 and resident addresses will be developed in consultation with the Town of Raymond to ensure conformity with existing street naming and address formats.



STREET NAMES - FIGURE #5

The road design is based on the 18m R.O.W. LOCAL ROAD (CURB ONLY) as outlined in the Dec. 3, 2018 Town of Raymond Engineering Standards. See Drawing #14.



3.0 INFRASTRUCTURE

3.1 Required Underground Infrastructure

There are seven main services to be provided to each lot; Electrical, ATCO natural gas, Telus, Shaw Cable, potable water, raw water, and sanitary waste disposal. Telus, Shaw, electrical, and gas installation plans are provided by their respective parties. Potable water, raw water, and sanitary waste disposal are shown on drawings 8-13.

3.1.1 Shallow Underground Infrastructure

The shallow utilities (Telus, Shaw, ATCO gas, and electrical) will be installed in the boulevard for Phase 1 and 2 and in a 3.5m utility right-of-way located at the front of each unit for Phases 3 through 6.

Street lighting for the development will be provided at intersections and as deemed suitable by the Town of Raymond. The Town of Raymond will waive the standards recommended by Fortis Alberta "Illuminating Engineering Society of North America" guidelines for street lighting.

3.1.2 Potable Water

The development will be supplied with potable water from the Town of Raymond water network. The new water lines will connect in two places to the existing system. One connection will be to an existing main under 300 St S and one will be extended across the green space to an existing main under 100 E. New water mains and services lines will be installed under the road as new roads are constructed. All new water lines will be 200mm diameter. Refer to drawings 8-13 for plan and profile views.

3.1.3 Raw Water (Irrigation)

To prevent an excessive draw on the Town's treated water system, a raw water main will be installed as each phase of development is constructed. This main line will connect to the Town of Raymond raw water main that runs along the 50E on the west edge of the development. Raw water lines will be installed in either the green space behind the lots or a 3.0m utility easement in the backs of the lots. Once the

installation is complete, the raw water services will be turned over to the Town of Raymond. The Town currently has the systems to collect fees and maintain service mains. Refer to drawing 15 for line and service locations.

3.1.4 Sanitary Waste

The development will be serviced via gravity sewer mains. Basement development with bathroom and / or laundry will require each residence to have a sewage lift pump. The sewer main will connect with existing Town of Raymond sanitary main north of the development across the green space. The main trunk through the development will be 250mm and the branches will be 200mm. The 250mm trunk will extend to the south end of the development to promote future development. Sewer lines will be installed in phases as the roads are constructed. Refer to drawings 8-13 for plan and profile views.

3.2 Transportation Planning

The road layout ties in to the existing grid system of the Town of Raymond, but the interior roads vary slightly to maximize the available space. The north entrance to the development is in line with the right of way for 100 East, but terminates in an intersection partway through the development. Due to the current lack of access south through the western portion of the development, the west road ends in a cul-de-sac, with provisions made to carry the road through should the land become available sometime in the future. The east road connects to 400S in between the right of ways for 100E and 200E. The south portion of the 100 E closed road allowance will be turned into green space with a walking path as part of Phase 5. The east side of 300S will terminate in a temporary turn around bulb until such time that the Town of Raymond decides to implement future development, or another subsequent development occurs to the east.

4.0 MUNICIPAL RESERVE

There will be one municipal reserve area in this subdivision. It is located in the Closed Road allowance of 100 E. It is well suited for passive recreation.

Phase 6 does not proceed until the bulb and the westerly property line of units 19 and 20 line up approximately with the westerly property line of Unit 21 if space is adequate. Phase 6 could then proceed at any time.

The Municipal Reserve will be located on the purchased 100 E Closed Road Allowance from the Town of Raymond. The planned green space will allow people to interact on a daily basis and also contributes to the well-being of the residents. The benefits of the green space are extensively recognized as the potential to provide opportunities to enhance wellbeing in different ways:

- o Physical wellbeing through physical activity and fresh air.
- o Mental wellbeing through stress reduction through healthy living.
- o Social wellbeing through social integration, engagement and participation.
- o The Town of Raymond as a whole will benefit as it will be a gathering point for social interaction for visitors to the Aspen Pointe development, as well as the Ridgeview Lodge and Good Sam's facilities.

The primary access point is at the north end via a walking path from the street. This walking path continues up the side of 100E and will eventually connect to the walking path north of the development. The walking path will split into a loop where the reserve widens. The interior of the loop will be used for a gazebo.

The back of all the lots will empty on to the reserve, which has a <1% slope northwards. The north end will drain into a catch basin that ties to the proposed storm system.

In **Phase 5** the developer will be responsible for the development/ construction of the walking trail, shaping, grass seeding, irrigation system and structure. The remainder of any MR owing will be either deferred or paid as cash in lieu, or a combination thereof on decision of the subdivision authority.

5.0 STORMWATER MANAGEMENT

The proposed development is to have paved roads with curb and gutter. The lots would be split drained with the front of the lots sloping towards the curb. The rear of the lots will slope either towards a swale that will carry water north towards the curb or into a municipal reserve that drains into a catch basin connected to the storm network. Catch basins along the curb would tie into a new storm sewer network for the development.

New subdivisions are required to be able to restrict the post-development peak flow rate of a 1 in 100 year storm. This requires a storage pond to limit flow to the calculated pre-development flow rate. In order to meet the detention requirements, the storm sewer network would carry the runoff to the green strip north of the development where a pond would be constructed. This would be a detention pond, meaning that it would be empty and dry when there are no storm events. The storm sewer network would discharge into the pond near the east end, and a discharge pipe would be installed at the west end that would tie into the existing storm sewers just northwest of the development. The discharge pipe would be a 200mm $\varnothing$, which would restrict the peak outflow to $\sim 0.74 \text{ m}^3/\text{s}$, which is approximately the calculated pre-development peak flow rate of a 1 in 5 year storm. The pond will also have weeping tile installed at the bottom to promote complete drainage after a storm event. See Drawing 13 for details on the detention pond.

Because the runoff is throttled by the outlet pipe, the model indicates that approximately 1850 m^3 of storm runoff would need to be detained. The proposed pond has a maximum capacity of approximately 2000 m^3 and thus will be adequate to serve as a detention pond.

Lots 1-3, 10-12, and 21-26 would require a swale at the back to carry away the water from the sides of lots 13, 20, 27, and 42. These swales would be constructed in the utility easement created for the irrigation lines. See Drawing 17 for approximate swale slopes. Slopes below 1% will be concrete, slopes above 1% could be either concrete or grass.

The swales on the east and west edges of the development will be responsible for conveying water from the backs of all lots on the edges to the curb of 300 South. These swales will be constructed in an easement at the back of the lots. See Drawing 16 for location and average slope.

6.0 PROPOSED LAND USE

6.1 Overview

The proposed land use will be consistent with the Aspen Pointe Direct Control Land Use District which will outline permitted and discretionary uses. The Concept Design Scheme is designed to maximize the use of existing topographical and landscape features of the site. Details of these areas will be refined through more detailed planning and engineering which will be done in conjunction with the site servicing plan and the Town of Raymond Development permit applications.

The total number of developed lots is 42. All lots will contain single detached dwellings that are considered Low Density Residential. Due to the intended purpose of the development as a 55+ Active Adult Living Community, an average occupancy per lot of 3 people was used for density calculations.

# of Lots	Occupants /Lot	Estimated Occupants	Developed Area (ha)	Est. Density Occupants /ha
42	3	126	2.53	49.76

6.2 Home Owners Association (HOA)

All lots within the subdivision are to be included as part of the proposed Aspen Pointe Home Owner's Association (HOA) as confirmed by the Developer and will exclude all municipal reserve areas and roadways, which will not be included in the Home Owner's Association. The municipal reserve areas and roadways will be installed by the Developer, but as outlined in a Development Agreement will eventually be the jurisdiction of the Town of Raymond to own and maintain.

7.0 DEVELOPMENT STANDARDS

7.1 Architectural Design Guidelines



The *Architectural Design Guidelines and Controls* for Aspen Pointe will establish the character of the community and ultimately strive to maintain the integrity of the community for years to come. The *Architectural Design Guidelines and Controls* aim to ensure that the community of Homes at Aspen Pointe presents an impression of high quality.

The community character of Aspen Pointe will be developed through enduring architectural elements that truly define the character of each home. The unique personality of this community will be expressed through the traditional Craftsman architectural style with contemporary design interpretations. The result will be the creation of a highly desirable neighborhood that satisfies the 55+ maintenance free home buyer.

Aspen Pointe will combine the enduring charm of the Craftsman architectural style to form the creative base from which the exterior design of the homes will be developed.

Aspen Pointe is a community that will accommodate the needs of the 55+ Active Adult Living lifestyle. The contemporary Craftsman architectural style will be unified through common design elements and features that reinforce the character and lifestyle of the neighborhood in an expression of harmony.



Contemporary Craftsman Architectural Style

7.2 Compatibility with Adjacent Land Use

The need for a balanced approach in the assessment of intensification is required, understanding that there is potential for competing objectives that need to be evaluated accordingly. In this regard, the height, massing, and scale of the proposed development is similar to the existing dwelling types in the area.

The proposed development will be successfully integrated into the neighborhood through appropriate setbacks, building shape and orientation, façade detailing and building materials.

By providing additional residential population to the immediate area, the existing retail and commercial establishments and service-related business in the area will

contribute to the long-term viability of such uses, while at the same time contributing to the achievement of the housing development objectives in the Town of Raymond.

7.3 Setbacks / Lot Coverage / Building Width

The Aspen Pointe Direct Control District will establish the minimum setbacks, building widths and lot coverage for the development. Refer to **Figure #6** for details.

All other Development Standards will be approved / outlined in the Aspen Pointe Direct Control Land Use District.

Lot Unit #	Setbacks			Max. Lot Cover.	(m x 3.28= ft.)	Building Envelope Width	
	Front	Secondary Front	Min. Side		Lot Width Eng. Drawing Dimensions	Max. Building Envelope Width (-setbacks)	Min. Building Envelope Width (-1.5 m)
1	3.0 m (10')	3.8 m (12.5')	1.5 m (5')	45%	18.44 m (60.48')	13.14 m (43.48')	11.64 m (38.48')
2	3.0 m (10')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.99')	9.52 m (30.98')
3	3.0 m (10')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.99')	9.52 m (30.98')
4	3.0 m (10')	N/A	1.5 m (5')	45%	17.65 m (57.89')	14.65 m (47.89')	13.15 m (42.98')
5	3.0 m (10')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.99')	9.52 m (30.98')
6	3.0 m (10')	3.8 m (12.5')	1.5 m (5')	45%	18.07 m (59.27')	12.79 m (41.77')	11.29 m (36.77')
7	3.0 m (10')	3.8 m (12.5')	1.5 m (5')	45%	18.28 m (59.96')	12.98 m (42.45')	11.48 m (37.45')
8	3.0 m (10')	N/A	1.5 m (5')	45%	15.27 m (50.08')	12.27 m (40.08')	10.77 m (35.08')
9	3.0 m (10')	N/A	1.5 m (5')	45%	15.27 m (50.08')	12.27 m (40.08')	10.77 m (35.08')
10	3.0 m (10')	N/A	1.5 m (5')	45%	15.27 m (50.08')	12.27 m (40.08')	10.77 m (35.08')
11	3.0 m (10')	N/A	1.5 m (5')	45%	15.27 m (50.08')	12.27 m (40.08')	10.77 m (35.08')
12	3.0 m (10')	3.8 m (12.5')	1.5 m (5')	45%	18.28 m (59.96')	12.27 m (40.08')	10.77 m (35.08')
13	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.66 m (48.09')	11.66 m (38.08')	10.16 m (33.08')
14	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.66 m (48.09')	11.66 m (38.08')	10.16 m (33.08')
15	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.66 m (48.09')	11.66 m (38.08')	10.16 m (33.08')
16	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.66 m (48.09')	11.66 m (38.08')	10.16 m (33.08')
17	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.66 m (48.09')	11.66 m (38.08')	10.16 m (33.08')
18	7.6 m (12.5')	N/A	1.5 m (5')	45%	14.65 m (48.05')	11.66 m (38.08')	10.16 m (33.08')
19	7.6 m (25.0')	N/A	1.5 m (5')	45%	15.27 m (50.09')	12.27 m (40.08')	10.77 m (35.08')
20	7.6 m (25.0')	N/A	1.5 m (5')	45%	15.27 m (50.09')	12.27 m (40.08')	10.77 m (35.08')
21	7.6 m (25.0')	3.8 m (12.5')	1.5 m (5')	45%	18.28 m (59.96')	12.98 m (40.08')	10.77 m (35.08')
22	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.78 m (44.96')
23	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.78 m (44.96')
24	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.98')	9.52 m (30.98')
25	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.98')	9.52 m (30.98')
26	7.6 m (25.0')	3.8 m (12.5')	1.5 m (5')	45%	17.65 m (57.89')	12.35 m (40.39')	10.85 m (35.39')
27	7.6 m (25.0')	N/A	1.5 m (5')	45%	15.34 m (50.32')	12.34 m (40.32')	10.84 m (35.32')
28	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.98')	9.52 m (30.98')
29	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.98')	9.52 m (30.98')
30	7.6 m (25.0')	N/A	1.5 m (5')	45%	14.02 m (45.99')	11.02 m (35.98')	9.52 m (30.98')
31	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
32	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
33	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
34	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
35	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
36	7.6 m (25.0')	3.8 m (12.5')	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
37	7.6 m (25.0')	3.8 m (12.5')	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
38	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
39	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
40	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
41	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.28 m (59.96')	15.28 m (49.96')	13.75 m (44.96')
42	7.6 m (25.0')	N/A	1.5 m (5')	45%	18.26 m (59.96')	15.28 m (49.96')	13.75 m (44.96')

SETBACKS / LOT COVERAGE / BUILDING ENVELOPE - FIGURE #6



“A Place to Call Home”

8.0 APPENDICES AND DRAWINGS

DWG. NO.	DESCRIPTION
PLAN	The new 55+ community of Aspen Pointe, situated on Lots 8 to 10 Block 71 Plan 2039I, Lot 13 Block 70 Plan 031 2808, Lot 5 Block 70 Plan 031 031 2808 and Closed Road parcel of 100 E within SE ¼ Sec. 8, Twp. 6, Range 20 w of 4th mer. of the Town of Raymond.
COVER	HOMES AT ASPEN POINTE
1	PLAN VIEW
2	DEVELOPMENT PHASES
3	PHASE 1
4	PHASE 2
5	PHASE 3
6	PHASE 4 & 6
7	PHASE 5
8	300 SOUTH PLAN PROFILE
9	S100E PLAN PROFILE
10	WEST ROAD PROFILE
11	EAST ROAD PROFILE
12	300 SOUTH EAST PLAN PROFILE
13	DRAINAGE POND PLAN PROFILE
14	TYPICAL ROAD SECTIONS
15	IRRIGATION PLAN
16	DRAINAGE PLAN
17	REAR LOT DRAINAGE PROFILES
18	FENCES
19	SETBACKS

RIDGELAND DEVELOPMENTS LTD RK HEGGIE GRAIN LTD.

HOMES AT ASPEN POINTE SENIOR DEVELOPMENT

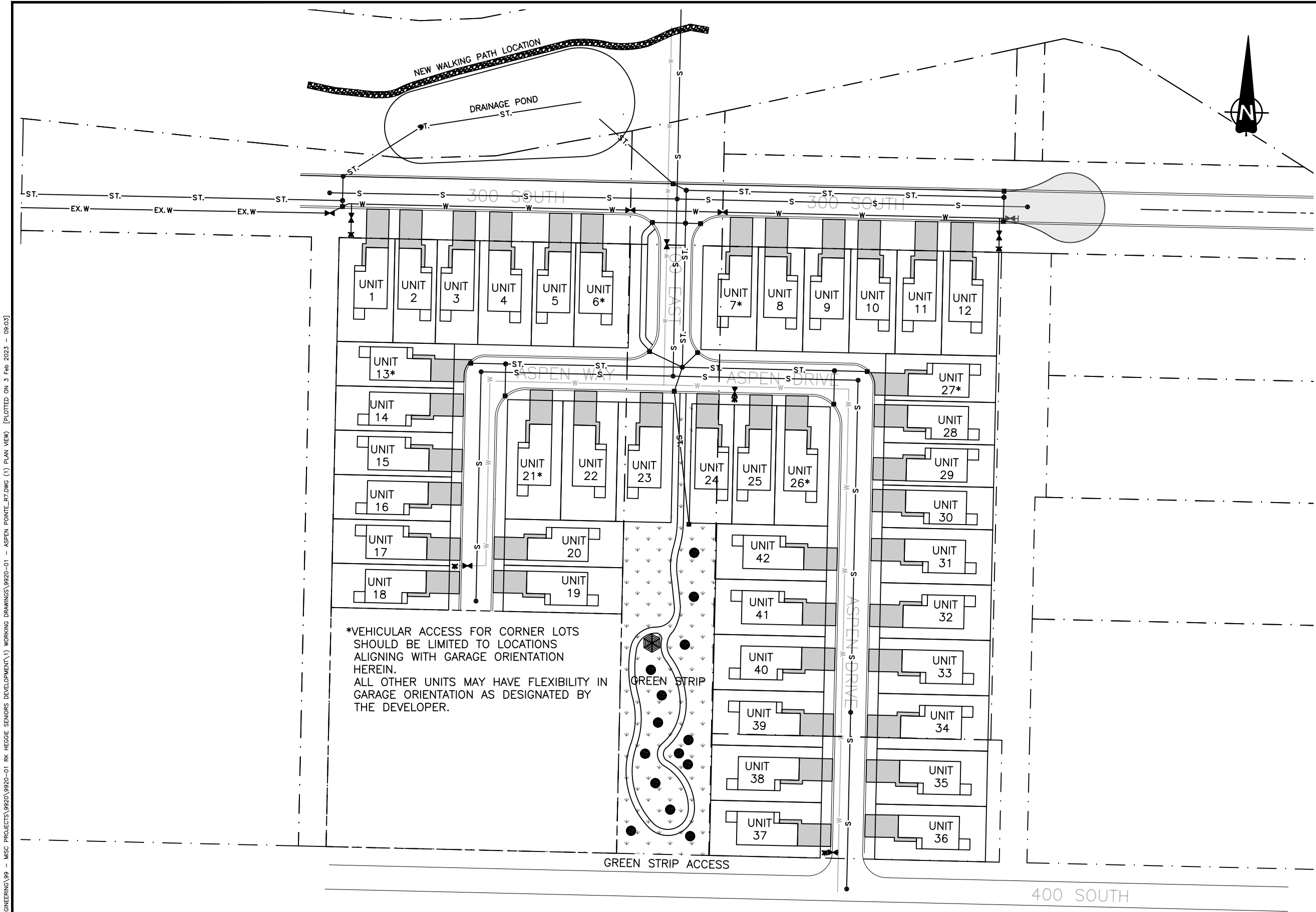
LIST OF DRAWINGS

DWG. NO.	DESCRIPTION	DWG. NO.	DESCRIPTION
1	PLAN VIEW	10	WEST ROAD PLAN PROFILE
2	DEVELOPMENT PHASES	11	EAST ROAD PLAN PROFILE
3	PHASE 1	12	300 SOUTH EAST PLAN PROFILE
4	PHASE 2	13	DRAINAGE POND PLAN PROFILE
5	PHASE 3	14	TYPICAL ROAD SECTIONS
6	PHASE 4&6	15	IRRIGATION PLAN
7	PHASE 5	16	DRAINAGE PLAN
8	300 SOUTH PLAN PROFILE	17	REAR LOT DRAINAGE PROFILES
9	S100E PLAN PROFILE	18	FENCES
		19	SETBACKS

WILDE BROS. ENGINEERING LTD.

3 February 2023

C:\USERS\DAVID\DROPBOX\ENGINEERING\99 - MISC PROJECTS\9920\9920-01 RK HEGGIE SENIORS DEVELOPMENT\1) WORKING DRAWINGS\9920-01 - ASPEN POINTE_R7.DWG (1) PLAN VIEW [PLOTTED ON 3 Feb 2023 - 09:03]



LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
Ⓢ	EXISTING SANITARY MANHOLE
ⓈT	EXISTING STORM MANHOLE
ⓈB	EXISTING STORM CATCHBASIN
ⓈB	EXISTING CATCHBASIN MANHOLE
ⓈH	EXIST. HYDRANT
ⓈV	EXIST. VALVE
ⓈC	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
Ⓢ	PROPOSED SANITARY MANHOLE
ⓈT	PROPOSED STORM MANHOLE
ⓈB	PROPOSED STORM CATCHBASIN
ⓈB	PROPOSED CATCHBASIN MANHOLE
ⓈH	PROPOSED HYDRANT
ⓈV	PROPOSED VALVE
ⓈC	PROPOSED CURB STOP
---	EXISTING PROPERTY LINES
---	FENCE

1	30AUG'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

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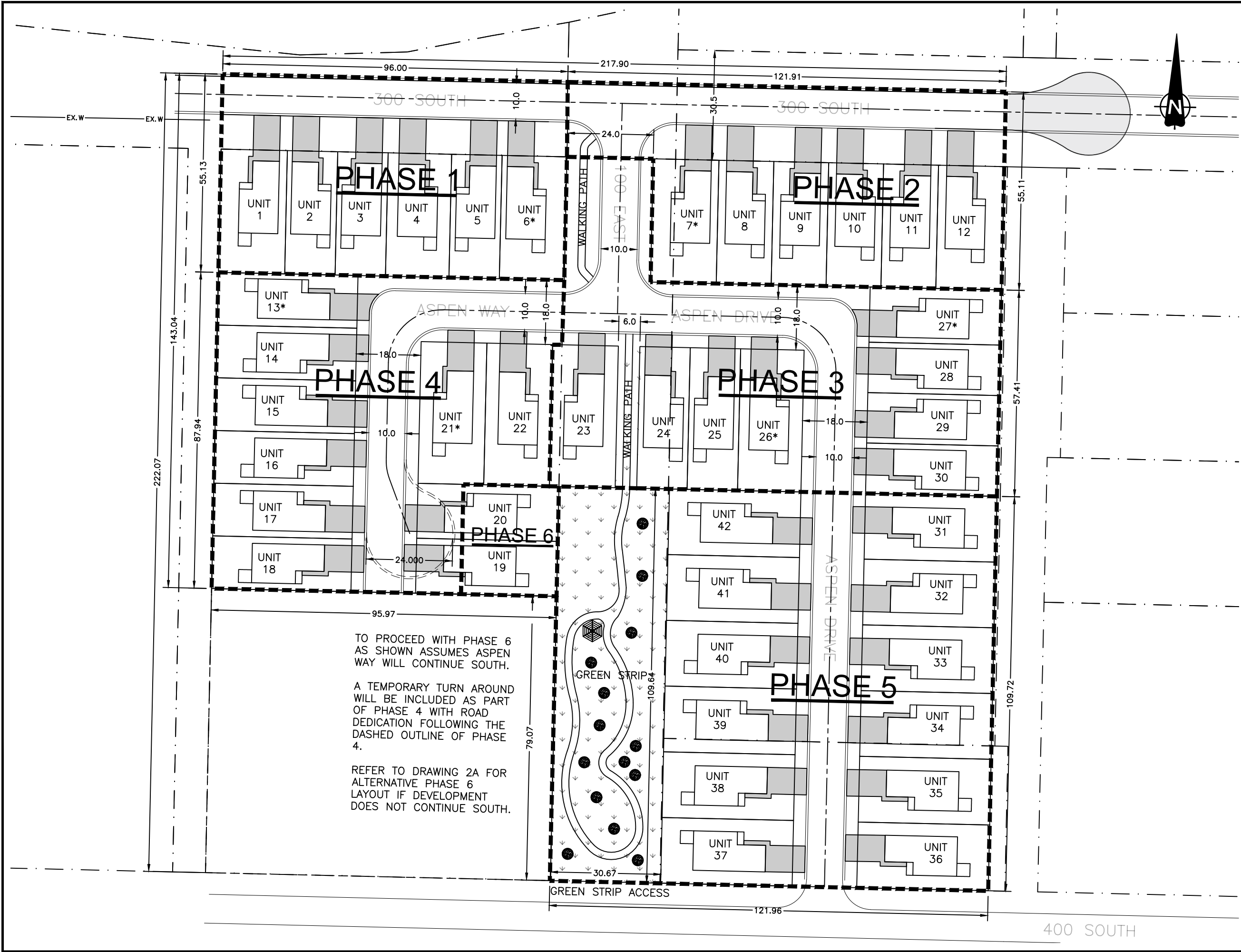
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN VIEW

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1250	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 1

C:\USERS\DAVID\DROPBOX\ENGINEERING\99 - MISC PROJECTS\9920\9920-01 RK HEGGIE SENIORS DEVELOPMENT\1) WORKING DRAWINGS\9920-01 - ASPEN POINTE_R7.DWG (2) DEV PHASES) [PLOTTED ON 3 Feb 2023 - 09:03]



TO PROCEED WITH PHASE 6
AS SHOWN ASSUMES ASPEN
WAY WILL CONTINUE SOUTH.

A TEMPORARY TURN AROUND
WILL BE INCLUDED AS PART
OF PHASE 4 WITH ROAD
DEDICATION FOLLOWING THE
DASHED OUTLINE OF PHASE
4.

REFER TO DRAWING 2A FOR
ALTERNATIVE PHASE 6
LAYOUT IF DEVELOPMENT
DOES NOT CONTINUE SOUTH.

LEGEND / NOTES

- EX. W EXISTING WATER MAIN
- EX. R EXISTING IRRIGATION MAIN
- EX. S EXISTING SANITARY SEWER
- EX. ST. EXISTING STORM SEWER
- Ⓢ EXISTING SANITARY MANHOLE
- ⓈT EXISTING STORM MANHOLE
- ⓈB EXISTING STORM CATCHBASIN
- ⓈB EXISTING CATCHBASIN MANHOLE
- Ⓢ EXIST. HYDRANT
- Ⓢ EXIST. VALVE
- EXISTING CURB STOP
- W PROPOSED WATER MAIN
- NEW R PROPOSED IRRIGATION MAIN
- S PROPOSED SANITARY SEWER
- ST. PROPOSED STORM SEWER
- Ⓢ PROPOSED SANITARY MANHOLE
- ⓈT PROPOSED STORM MANHOLE
- ⓈB PROPOSED STORM CATCHBASIN
- ⓈB PROPOSED CATCHBASIN MANHOLE
- Ⓢ PROPOSED HYDRANT
- Ⓢ PROPOSED VALVE
- Ⓢ PROPOSED CURB STOP
- - - EXISTING PROPERTY LINES
- ~ FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

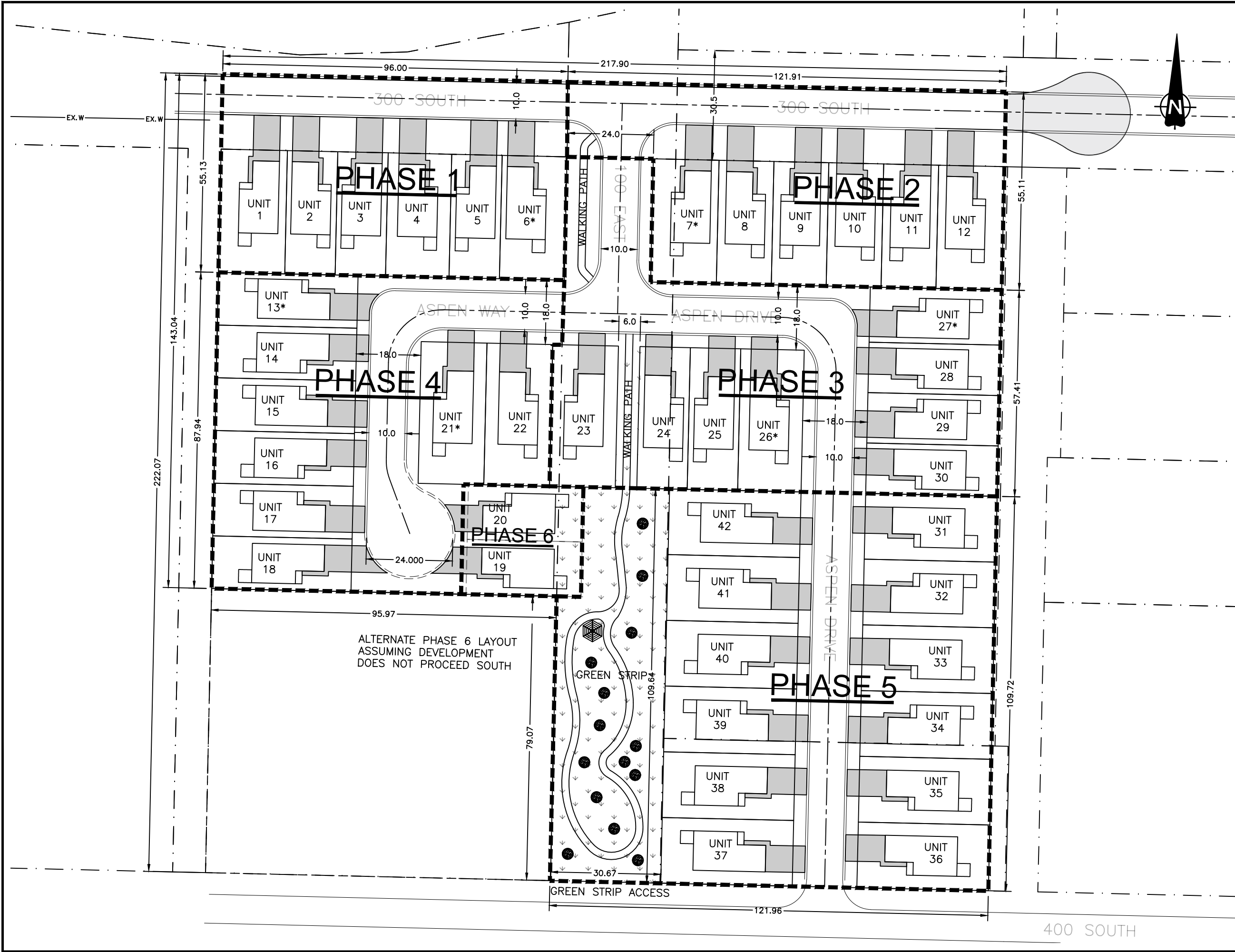
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HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
DEVELOPMENT PHASES

DESIGNED: JMD	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 2



LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING CATCHBASIN MANHOLE
	EXIST. HYDRANT
	EXIST. VALVE
	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCHBASIN
	PROPOSED CATCHBASIN MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED CURB STOP
— . —	EXISTING PROPERTY LINES
	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE SENIOR DEVELOPMENT DEVELOPMENT PHASES PHASE 6 ALTERNATIVE

DESIGNED: JMD	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 2a

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING CATCHBASIN MANHOLE
	EXIST. HYDRANT
	EXIST. VALVE
	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCHBASIN
	PROPOSED CATCHBASIN MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
	FENCE

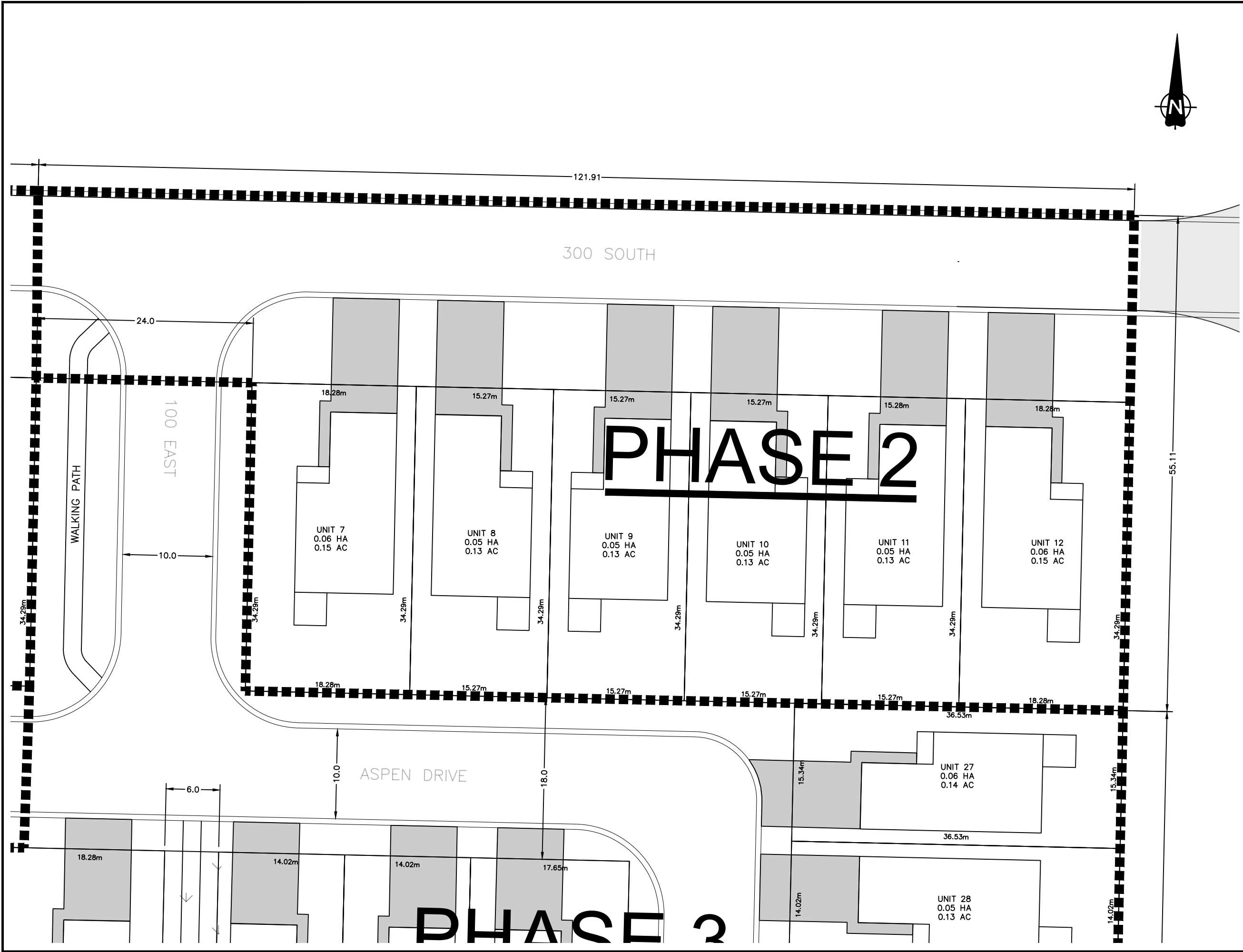
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DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:400	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 3

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LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
Ⓢ	EXISTING SANITARY MANHOLE
ⓈT	EXISTING STORM MANHOLE
ⓈB	EXISTING STORM CATCHBASIN
ⓈB	EXISTING CATCHBASIN MANHOLE
Ⓢ	EXIST. HYDRANT
Ⓢ	EXIST. VALVE
Ⓢ	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
Ⓢ	PROPOSED SANITARY MANHOLE
ⓈT	PROPOSED STORM MANHOLE
ⓈB	PROPOSED STORM CATCHBASIN
ⓈB	PROPOSED CATCHBASIN MANHOLE
Ⓢ	PROPOSED HYDRANT
Ⓢ	PROPOSED VALVE
Ⓢ	PROPOSED CURB STOP
---	EXISTING PROPERTY LINES
---	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

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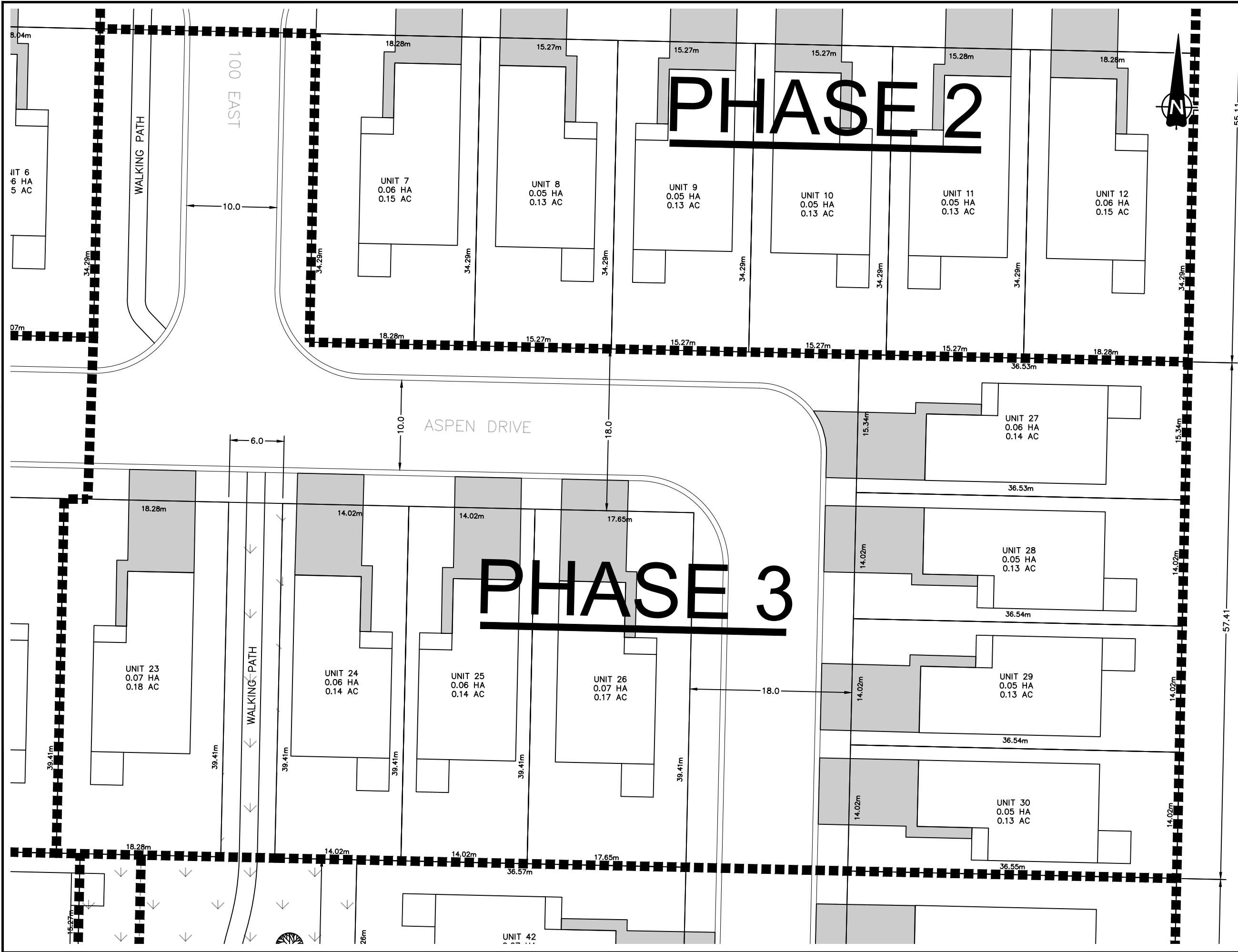
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RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PHASE 2

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:400	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 4

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LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
⊙	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
— · · —	EXISTING PROPERTY LINES
—	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

WILDE BROTHERS
ENGINEERING LTD.
PERMIT TO PRACTICE
P08438

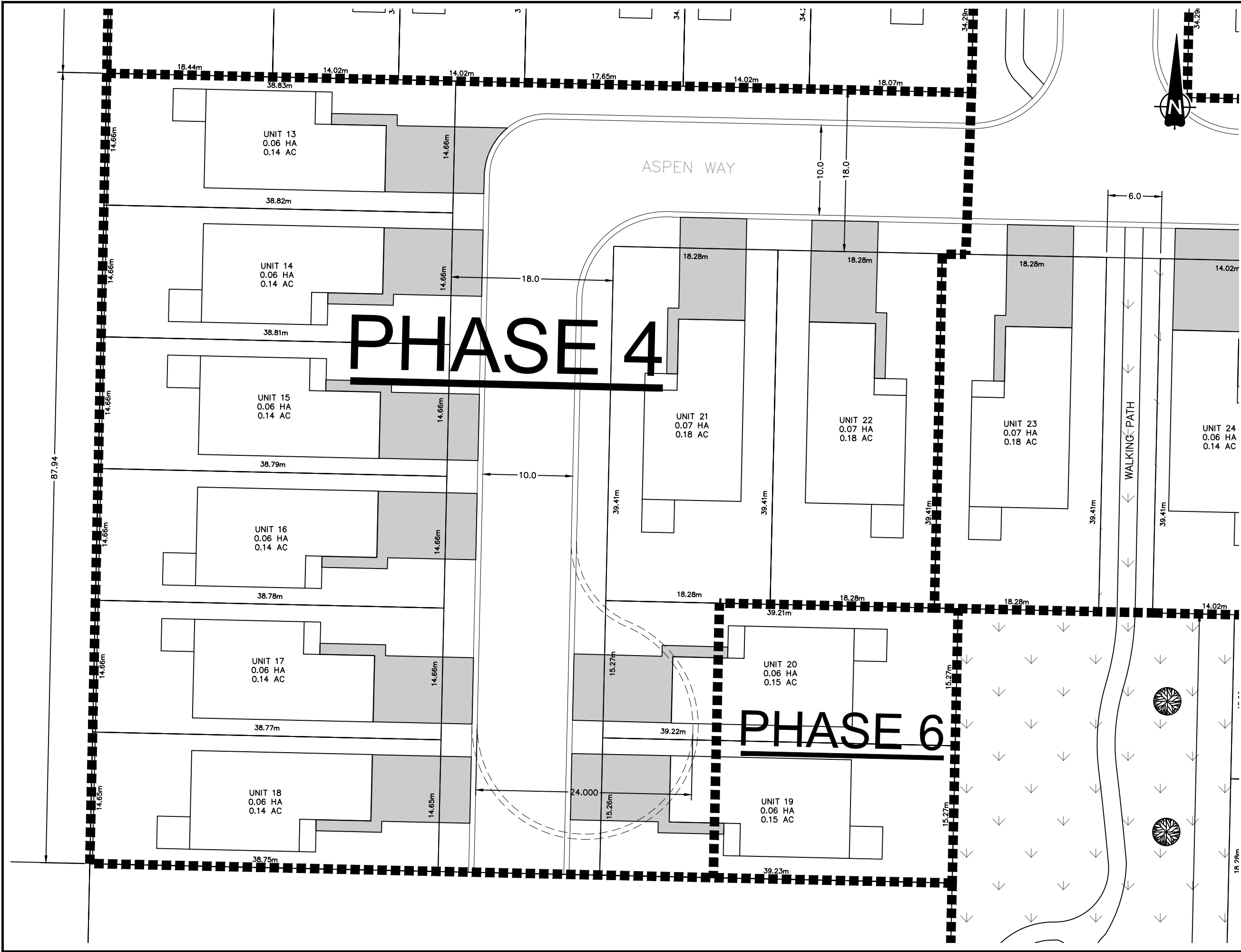
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PHASE 3

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:400	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 5

C:\USERS\DAVID\DROPBOX\ENGINEERING\99 - MISC PROJECTS\9920\9920-01 RK HEGGIE SENIORS DEVELOPMENT\1) WORKING DRAWINGS\9920-01 - ASPEN POINTE_R7.DWG (6) PHASE 4&6 [PLOTTED ON 3 Feb 2023 - 09:04]



LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
⊙	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
— · — · —	EXISTING PROPERTY LINES
— / — / —	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

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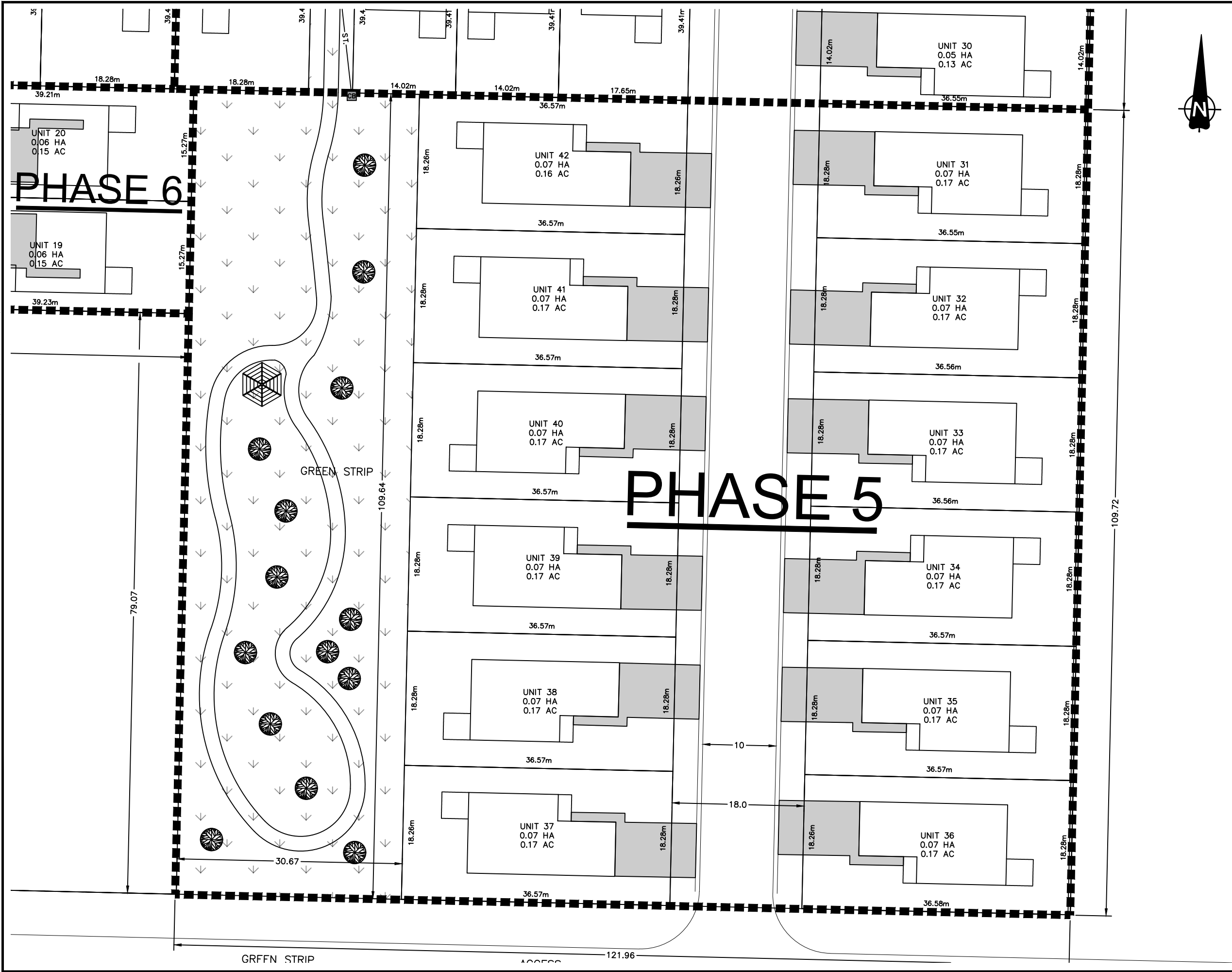
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PHASES 4&6

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:400	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 6

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LEGEND / NOTES

EX. W

EX. R

EX. S

EX. ST.

W

NEW R

S

ST.

EXISTING PROPERTY LINES

FENCE

EXISTING WATER MAIN

EXISTING IRRIGATION MAIN

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING STORM CATCHBASIN

EXISTING CATCHBASIN MANHOLE

EXIST. HYDRANT

EXIST. VALVE

EXISTING CURB STOP

PROPOSED WATER MAIN

PROPOSED IRRIGATION MAIN

PROPOSED SANITARY SEWER

PROPOSED STORM SEWER

PROPOSED SANITARY MANHOLE

PROPOSED STORM MANHOLE

PROPOSED STORM CATCHBASIN

PROPOSED CATCHBASIN MANHOLE

PROPOSED HYDRANT

PROPOSED VALVE

PROPOSED CURB STOP

EXISTING PROPERTY LINES

FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

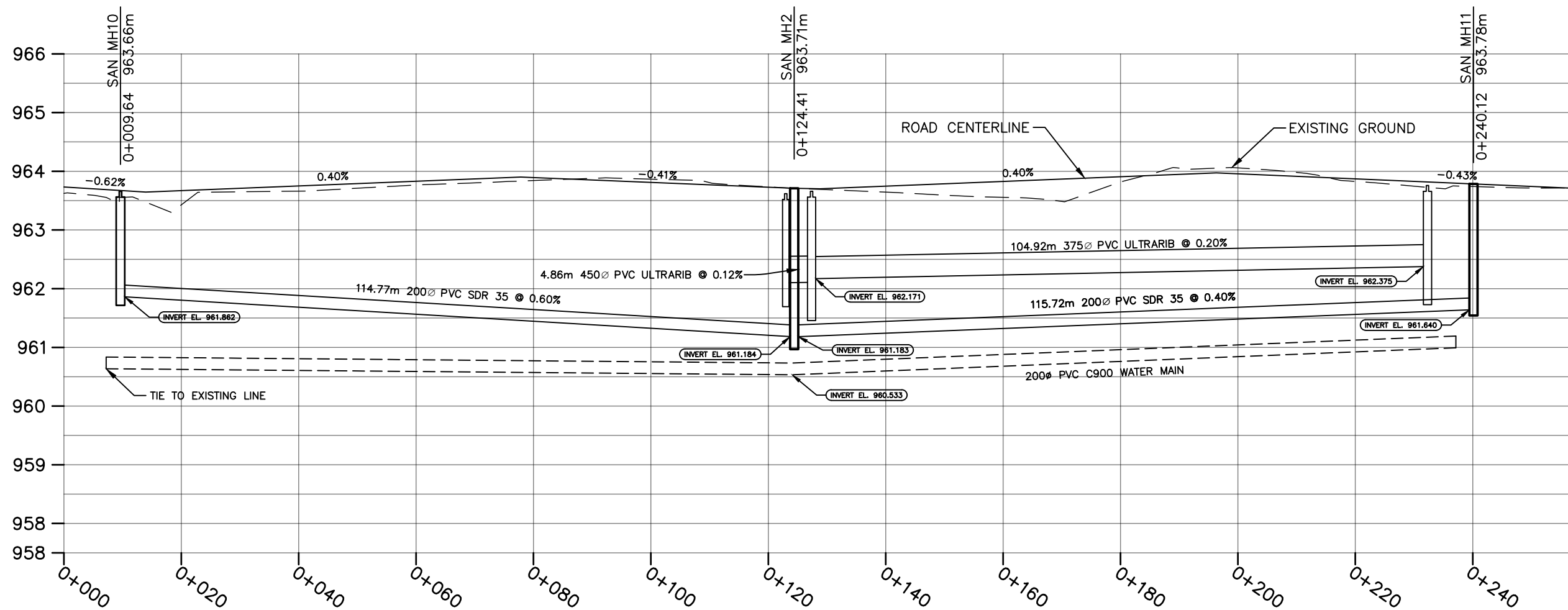
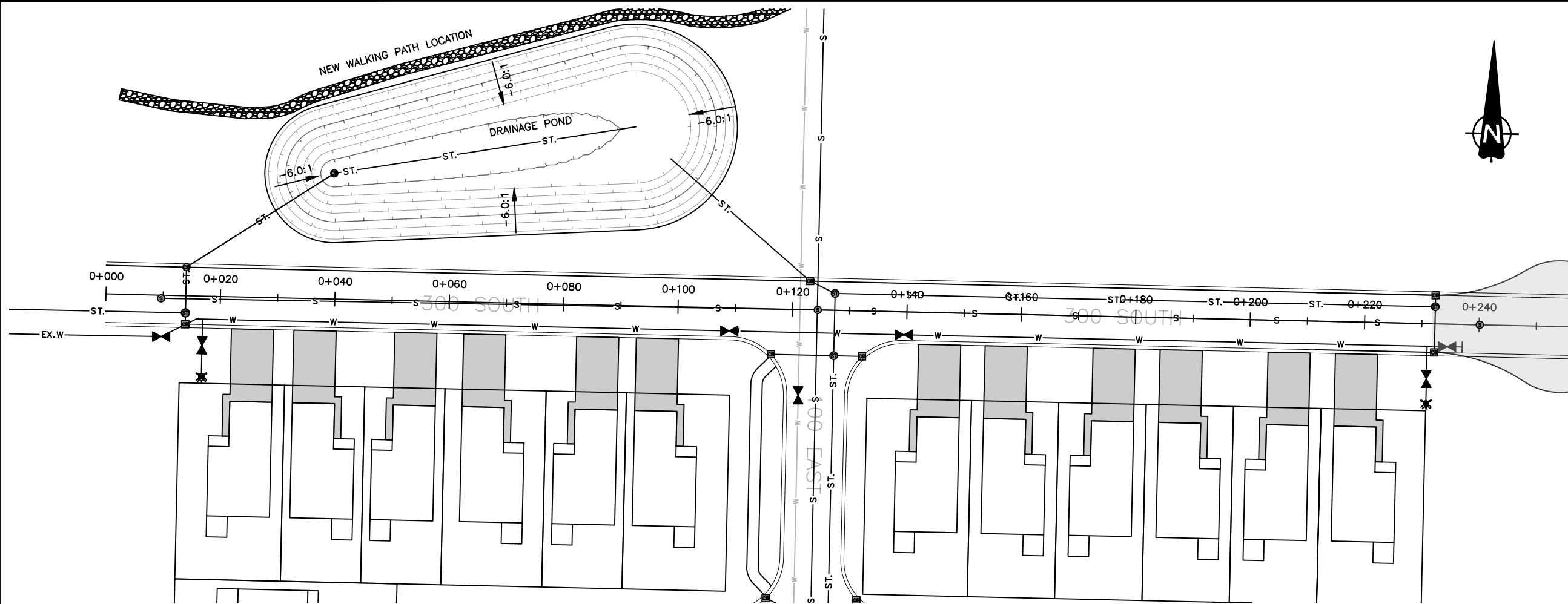
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PHASE 5

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:500	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 7



LEGEND / NOTES

— EX. W —————	EXISTING WATER MAIN
— EX. R —————	EXISTING IRRIGATION MAIN
— EX. S —————	EXISTING SANITARY SEWER
— EX. ST. —————	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING CATCHBASIN MANHOLE
	EXIST. HYDRANT
	EXIST. VALVE
	EXISTING CURB STOP
— W —————	PROPOSED WATER MAIN
— NEW R —————	PROPOSED IRRIGATION MAIN
— S —————	PROPOSED SANITARY SEWER
— ST. —————	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCHBASIN
	PROPOSED CATCHBASIN MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

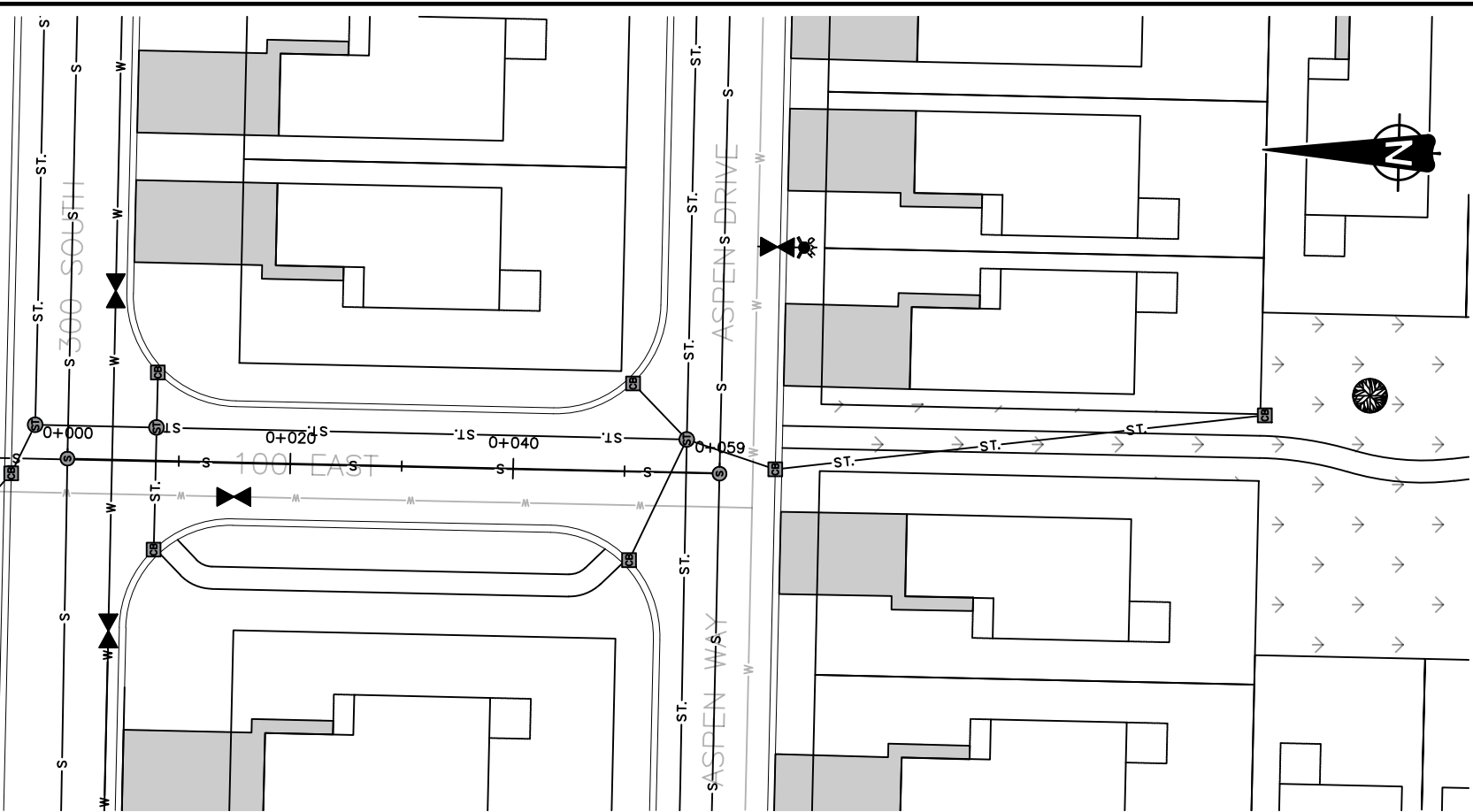
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WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN PROFILE
300 ST SOUTH

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: PL-1:800 PR-1:800	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 8



— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING CATCHBASIN MANHOLE
	EXIST. HYDRANT
	EXIST. VALVE
	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCHBASIN
	PROPOSED CATCHBASIN MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
	FENCE

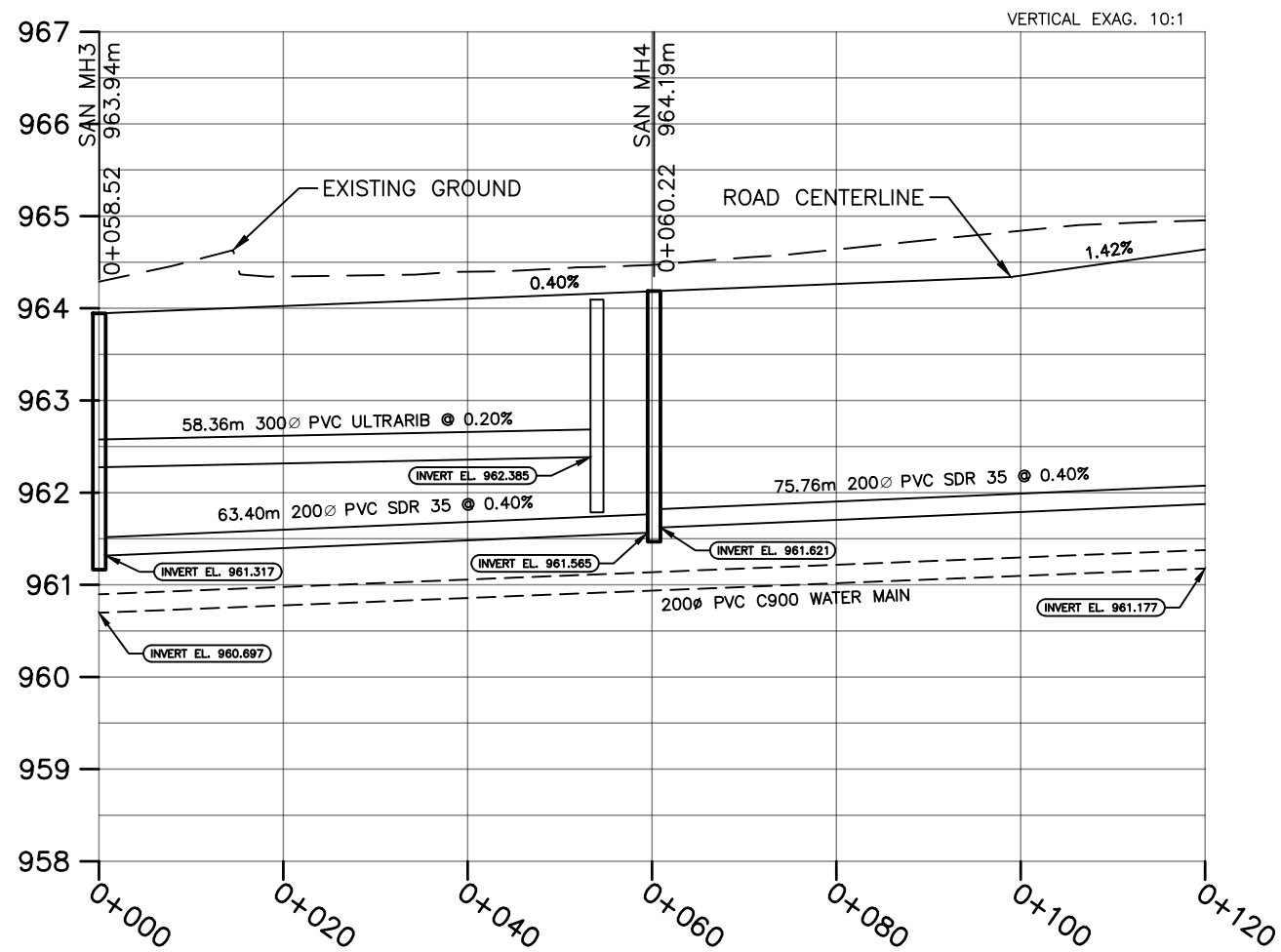
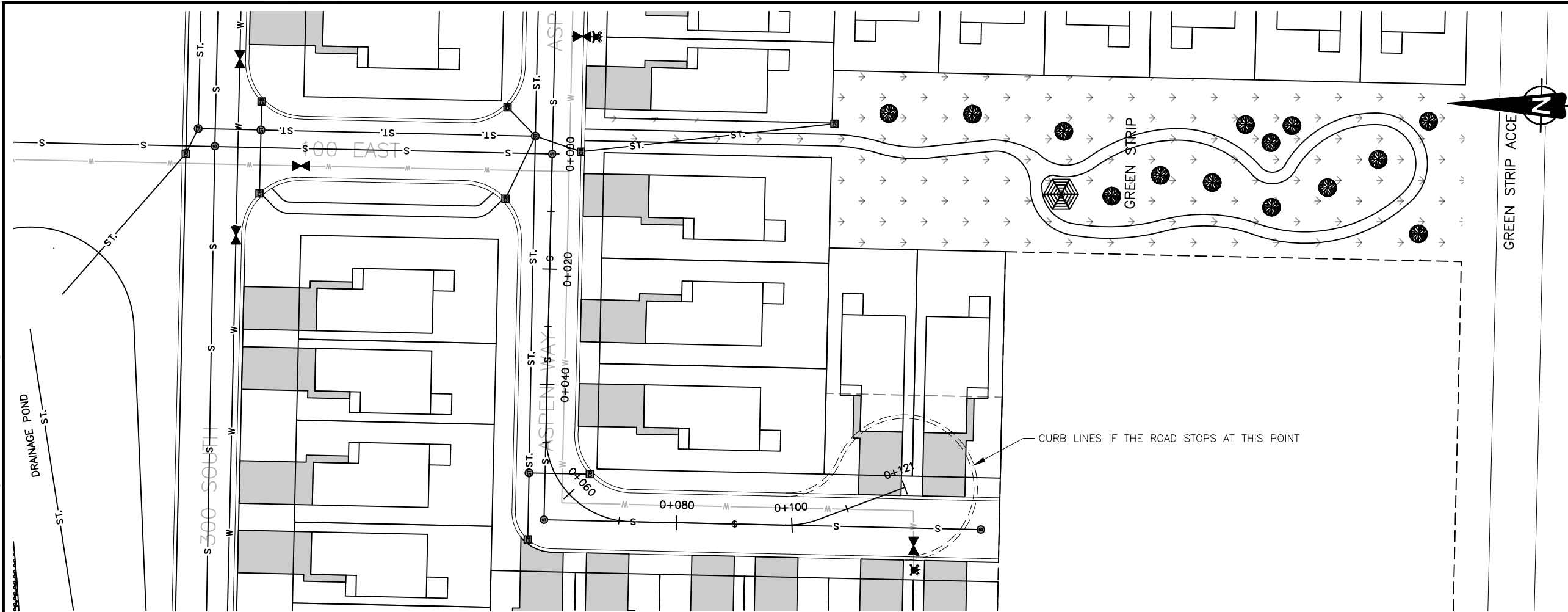
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RIDGELAND DEVELOPMENTS LTD

10/1/2010

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LEGEND / NOTES	
EX. W	EXISTING WATER MAIN
EX. R	EXISTING IRRIGATION MAIN
EX. S	EXISTING SANITARY SEWER
EX. ST.	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
⊙	EXISTING CURB STOP
W	PROPOSED WATER MAIN
NEW R	PROPOSED IRRIGATION MAIN
S	PROPOSED SANITARY SEWER
ST.	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
---	EXISTING PROPERTY LINES
---	FENCE

ISSUE	DATE	REVISION DESCRIPTION
1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW

WILDE BROTHERS
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PERMIT TO PRACTICE
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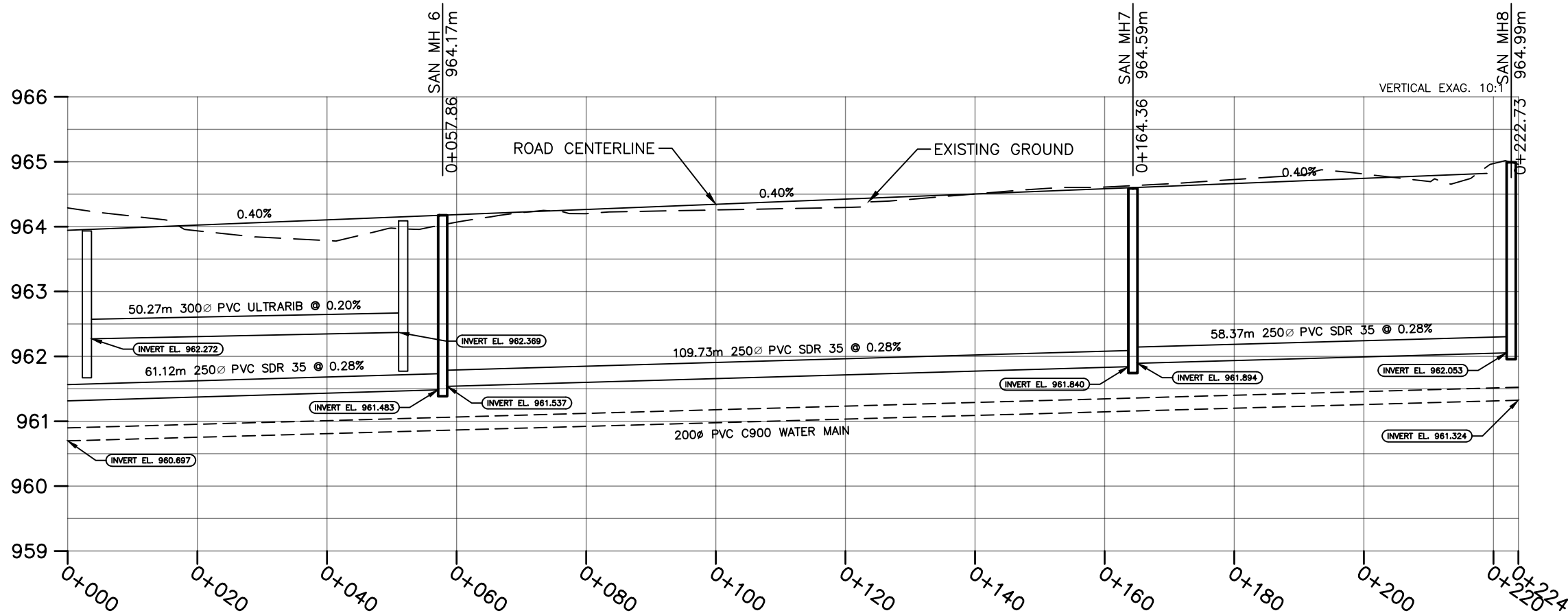
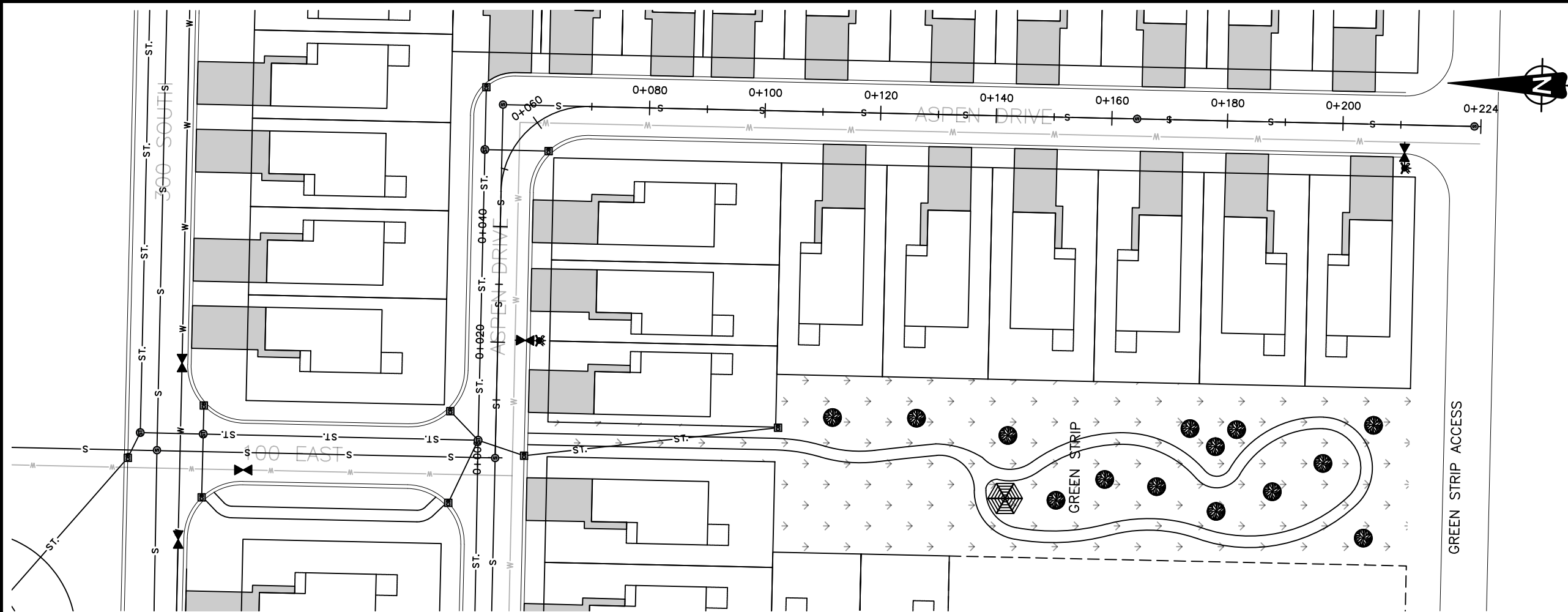
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN PROFILE
WEST ROAD

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: PL-1:800 PR-1:800	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 10

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LEGEND / NOTES	
— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙ S	EXISTING SANITARY MANHOLE
⊙ ST	EXISTING STORM MANHOLE
⊠ CB	EXISTING STORM CATCHBASIN
⊙ CB	EXISTING CATCHBASIN MANHOLE
⊗	EXIST. HYDRANT
⊗	EXIST. VALVE
●	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙ S	PROPOSED SANITARY MANHOLE
⊙ ST	PROPOSED STORM MANHOLE
⊠ CB	PROPOSED STORM CATCHBASIN
⊙ CB	PROPOSED CATCHBASIN MANHOLE
⊗	PROPOSED HYDRANT
⊗	PROPOSED VALVE
●	PROPOSED CURB STOP
— · —	EXISTING PROPERTY LINES
— / —	FENCE

ISSUE	DATE	REVISION DESCRIPTION
1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW

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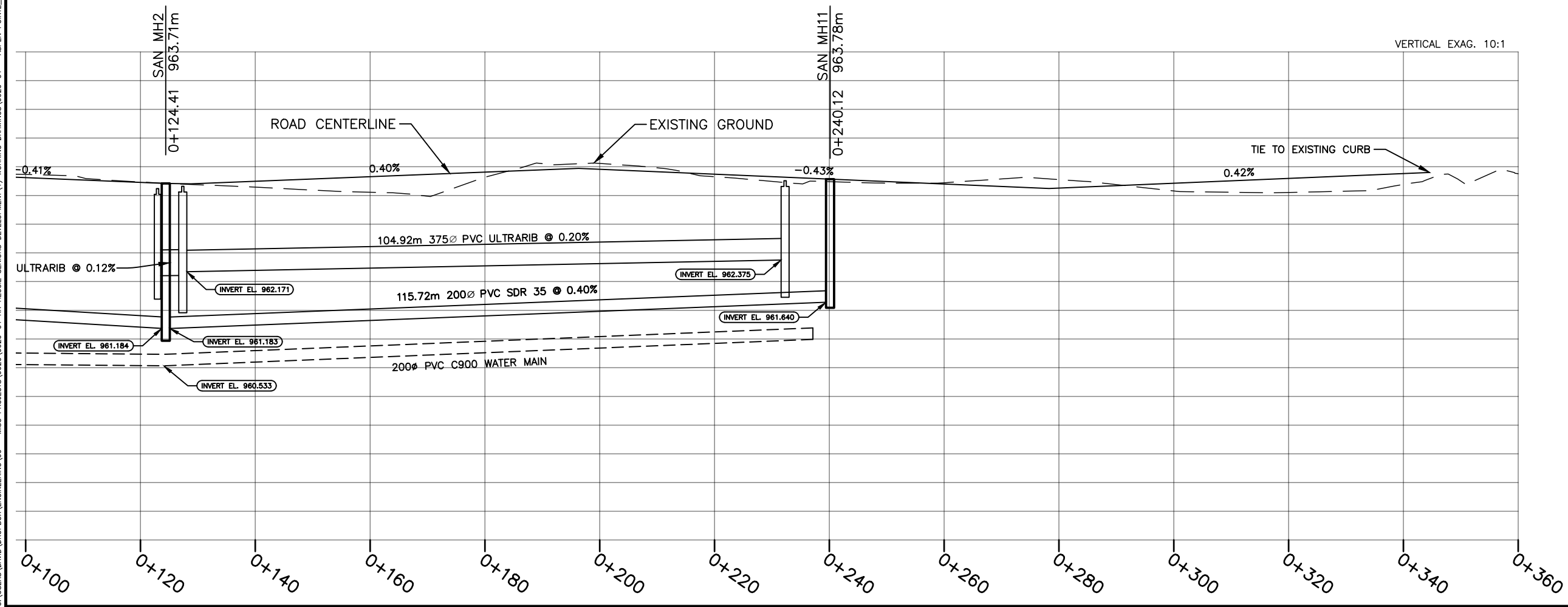
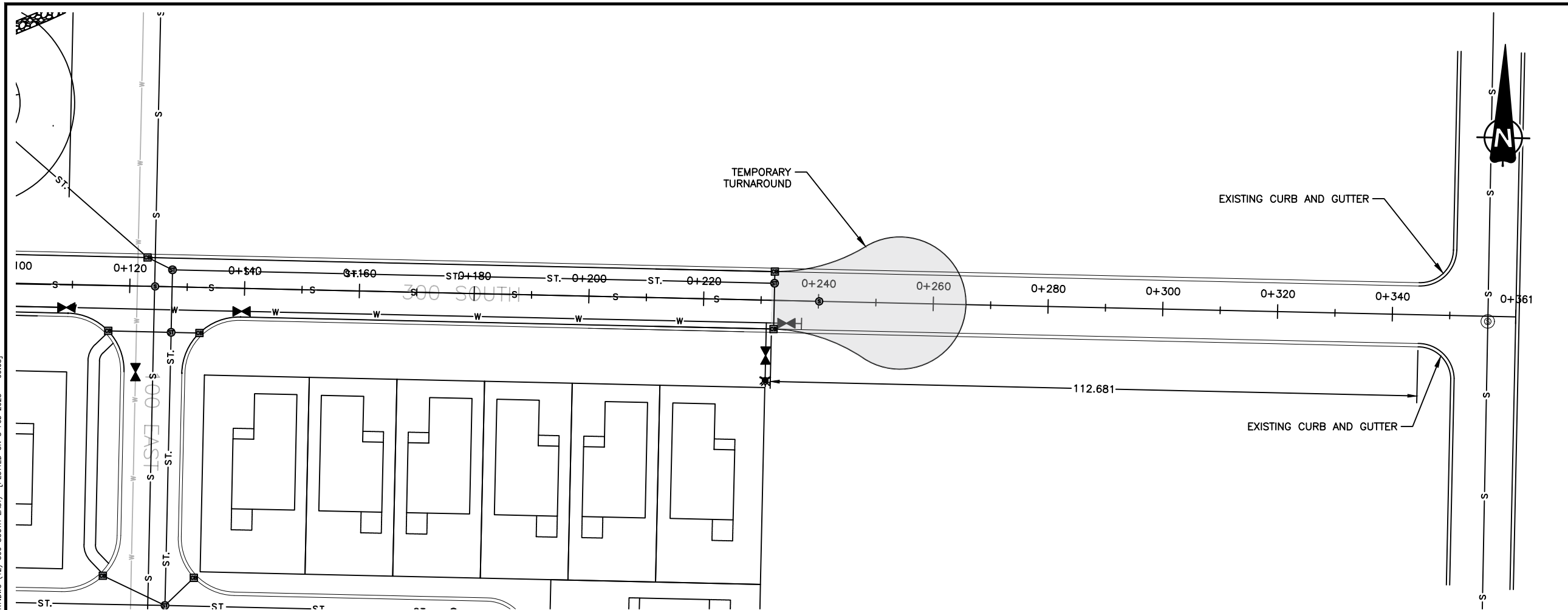
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN PROFILE
EAST ROAD

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: PL-1:800 PR-1:800	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 11

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LEGEND / NOTES	
— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
⊙	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
— — — — —	FENCE

ISSUE	DATE	REVISION DESCRIPTION
1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW

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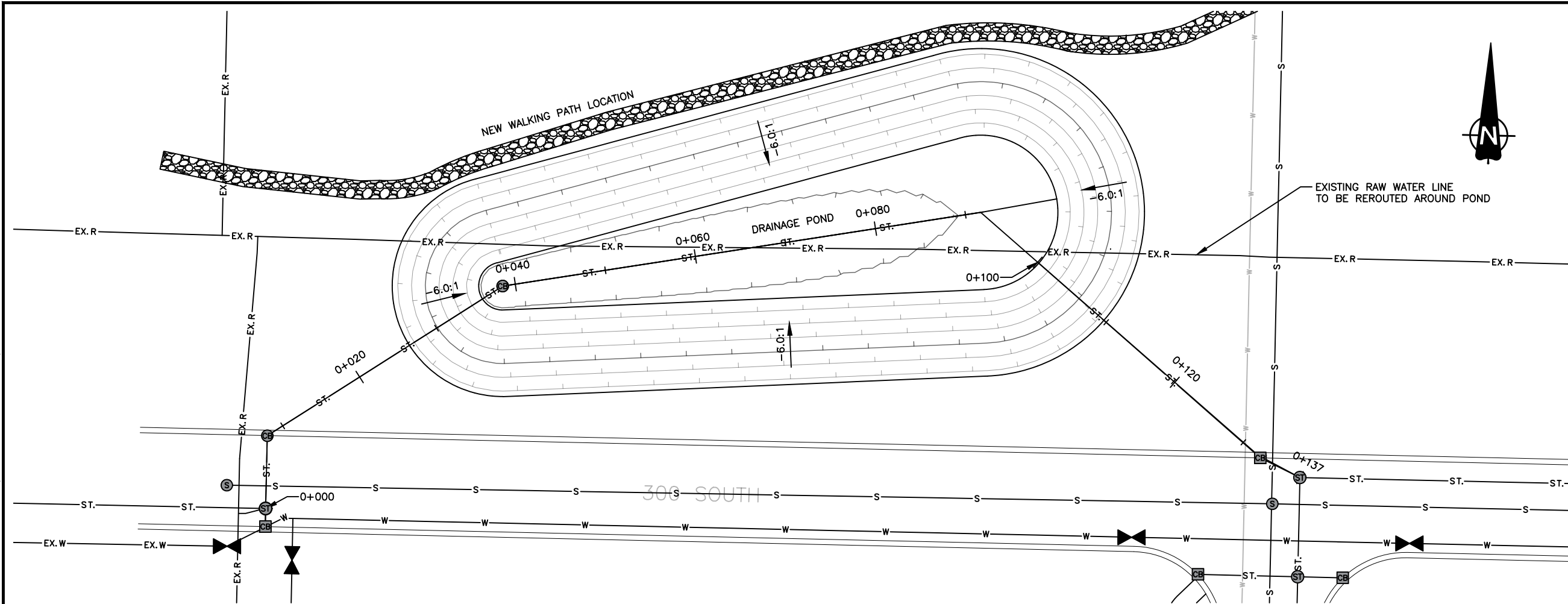
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN PROFILE
300 ST SOUTH, 150E TO 200E

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: PL-1:800 PR-1:800	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 12

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LEGEND / NOTES	
— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊠	EXISTING STORM CATCHBASIN
⊠	EXISTING CATCHBASIN MANHOLE
⊠	EXIST. HYDRANT
⊠	EXIST. VALVE
●	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊠	PROPOSED STORM CATCHBASIN
⊠	PROPOSED CATCHBASIN MANHOLE
⊠	PROPOSED HYDRANT
⊠	PROPOSED VALVE
⊠	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
— — — — —	FENCE

ISSUE	DATE	REVISION DESCRIPTION
1	22NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW

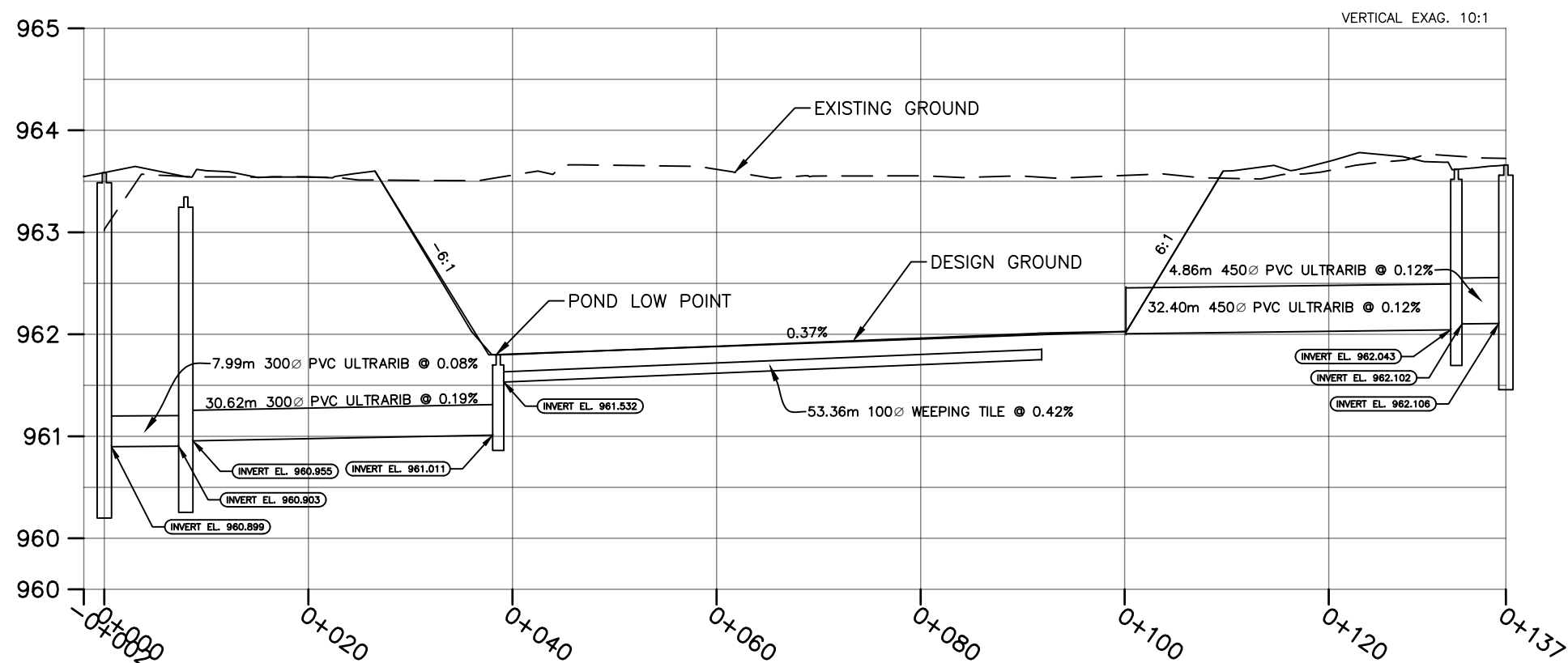
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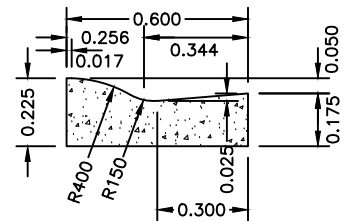
RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
PLAN PROFILE
POND STORM SEWER LINE

DESIGNED: JMD	CHECKED: DJW
DRAWN: JMD	JOB: 9920-01
SCALE: PL-1:500 PR-1:600	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 13

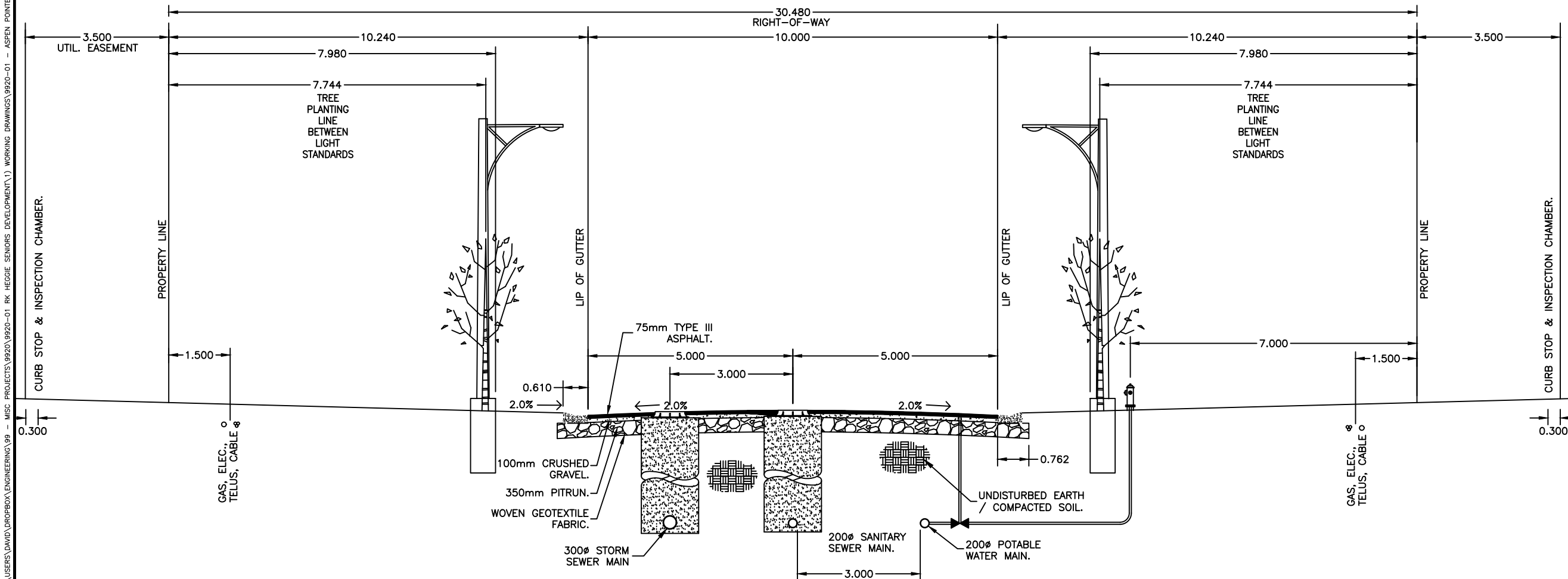
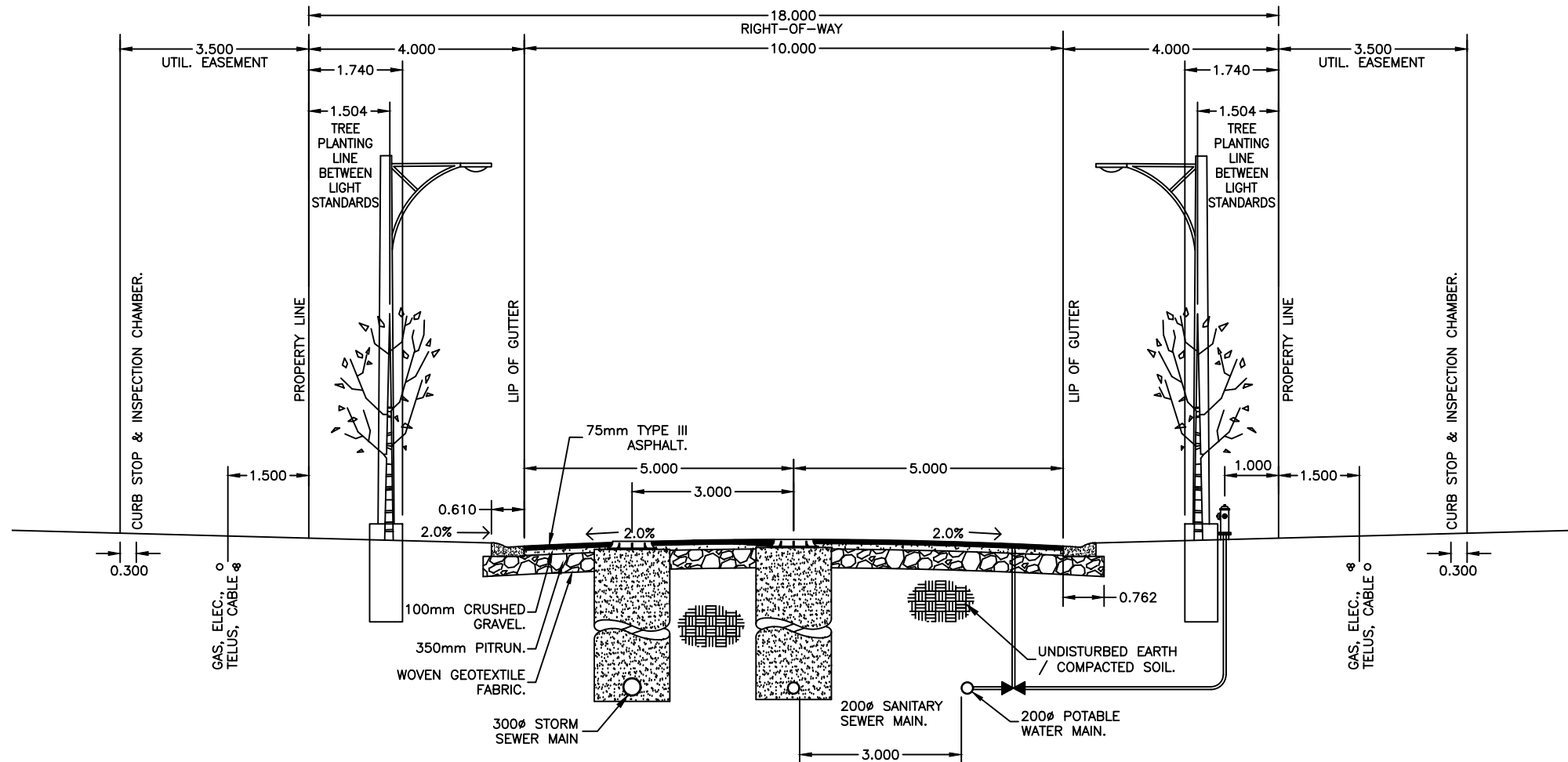


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NOTES:
-CONCRETE TO BE 30MPa
40mm-75mm SLUMP, 5.5%-8%
ENTRAINED AIR, 25mm MAXIMUM
AGGREGATE SIZE.

TYP. CURB & GUTTER
SECTION



LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
●	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
— — —	EXISTING PROPERTY LINES
— — —	FENCE

ISSUE	DATE	REVISION DESCRIPTION
1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW

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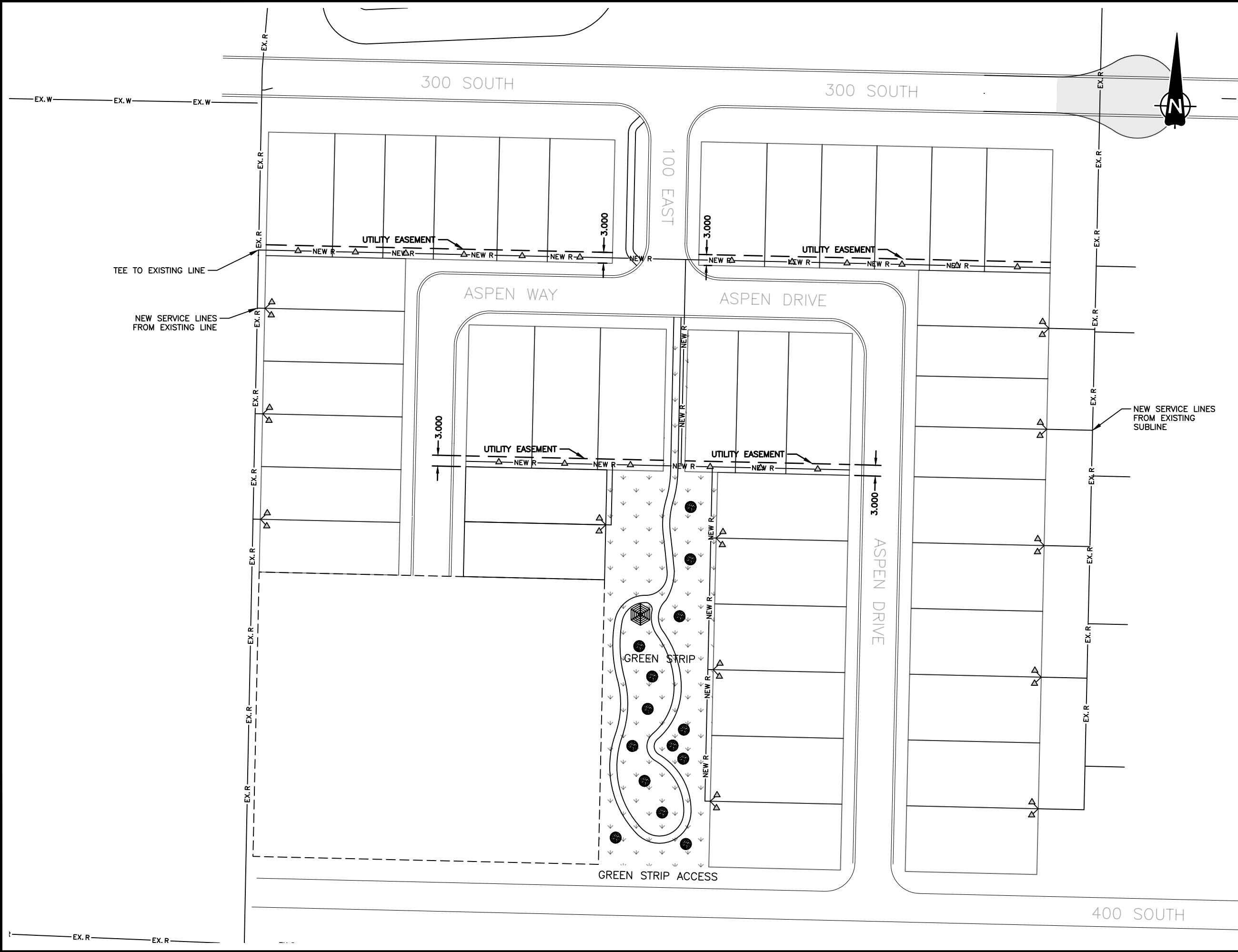
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
TYPICAL ROAD SECTION

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:110	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 14

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LEGEND / NOTES

EX. W

EX. R

EX. S

EX. ST.

S

ST

CB

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●

W

NEW R

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ST.

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ST

CB

CB

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EXISTING WATER MAIN

EXISTING IRRIGATION MAIN

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING STORM CATCHBASIN

EXISTING CATCHBASIN MANHOLE

EXIST. HYDRANT

EXIST. VALVE

EXISTING CURB STOP

PROPOSED WATER MAIN

PROPOSED IRRIGATION MAIN

PROPOSED SANITARY SEWER

PROPOSED STORM SEWER

PROPOSED SANITARY MANHOLE

PROPOSED STORM MANHOLE

PROPOSED STORM CATCHBASIN

PROPOSED CATCHBASIN MANHOLE

PROPOSED HYDRANT

PROPOSED VALVE

PROPOSED CURB STOP

BUILDING SETBACKS

IRRIGATION SERVICE POINT

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

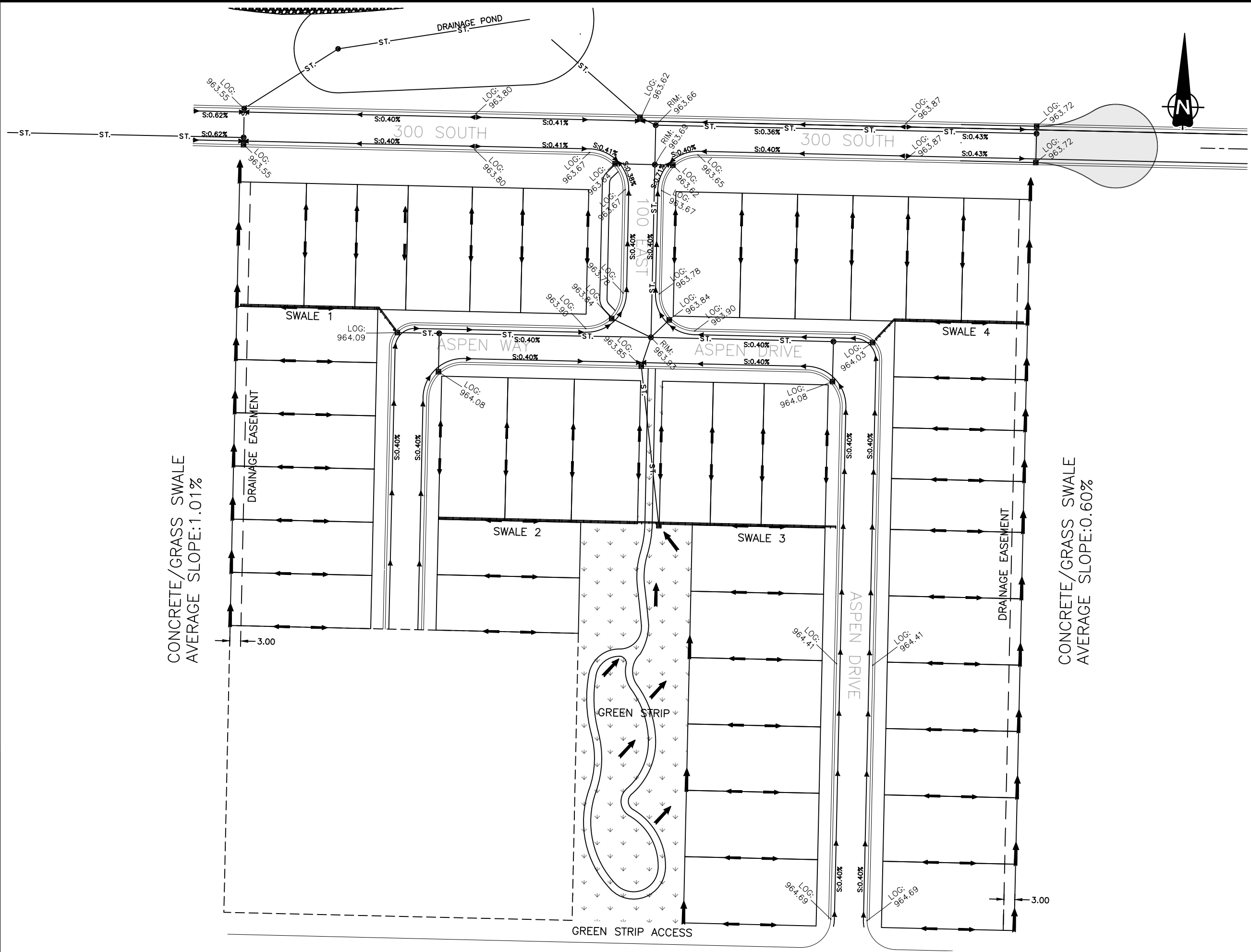
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WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
IRRIGATION PLAN VIEW

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 15



LEGEND / NOTES

— EX. W —	EXISTING WATER MAIN
— EX. R —	EXISTING IRRIGATION MAIN
— EX. S —	EXISTING SANITARY SEWER
— EX. ST. —	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING CATCHBASIN MANHOLE
	EXIST. HYDRANT
	EXIST. VALVE
	EXISTING CURB STOP
— W —	PROPOSED WATER MAIN
— NEW R —	PROPOSED IRRIGATION MAIN
— S —	PROPOSED SANITARY SEWER
— ST. —	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CATCHBASIN
	PROPOSED CATCHBASIN MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED CURB STOP
— . . . —	EXISTING PROPERTY LINES
	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

WILDE BROTHERS
ENGINEERING LTD.
PERMIT TO PRACTICE
P08438

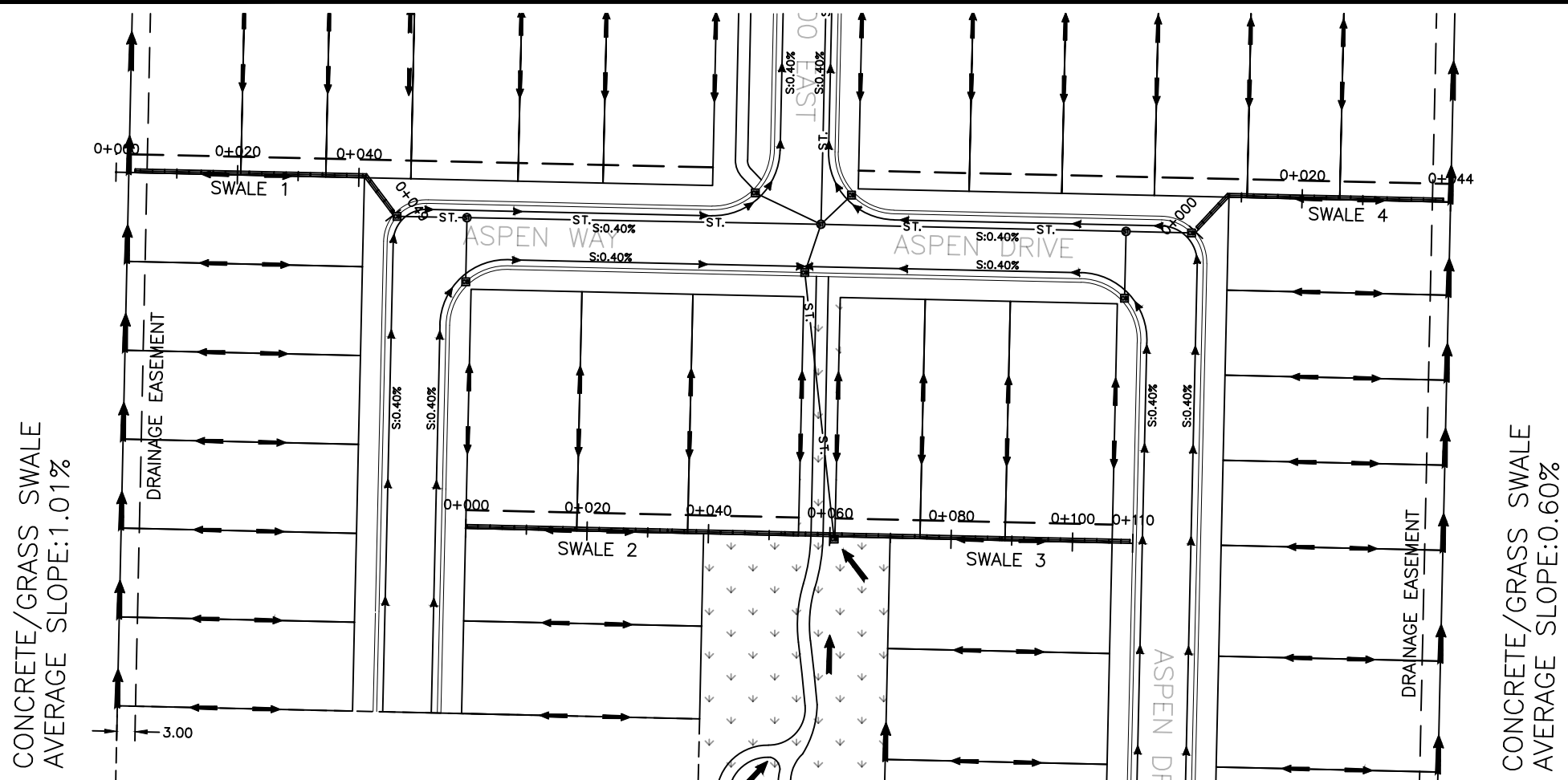
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE SENIOR DEVELOPMENT DRAINAGE PLAN

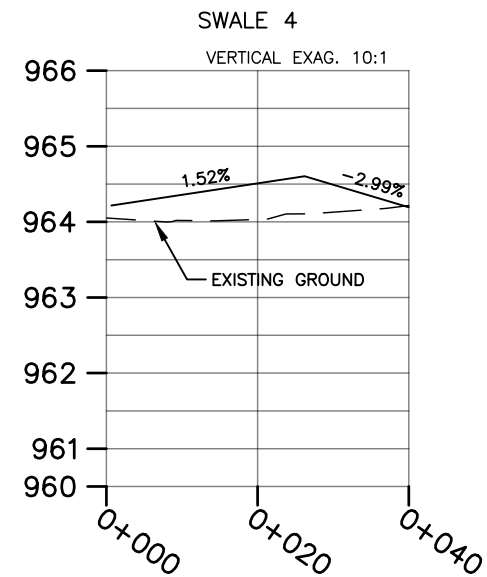
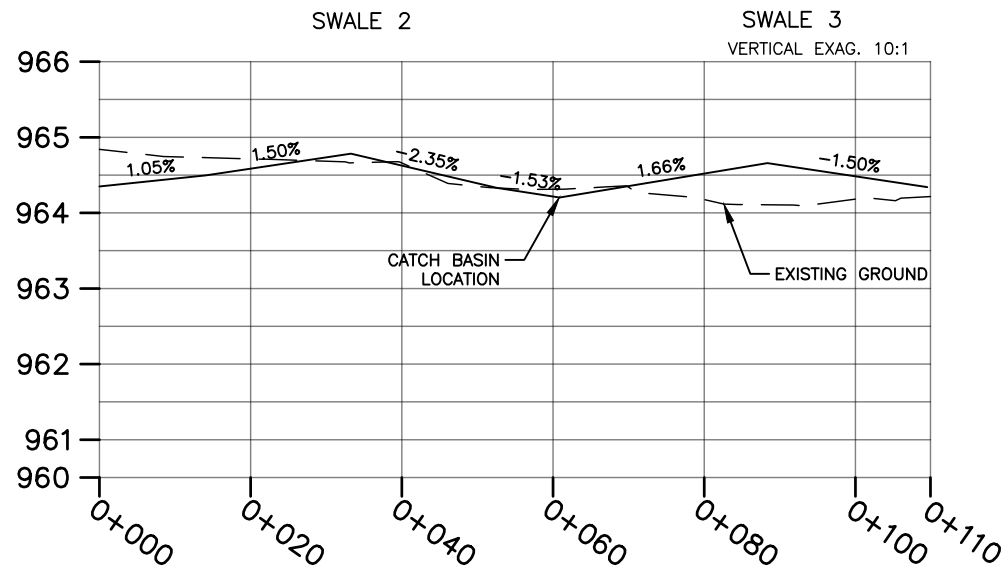
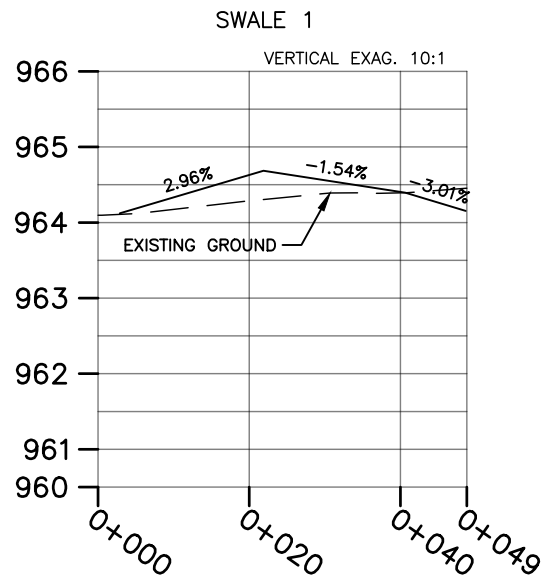
DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 16

C:\USERS\DAVID\DROPBOX\ENGINEERING\99 - MISC PROJECTS\9920\9920-01 RK HEGGIE SENIORS DEVELOPMENT\1) WORKING DRAWINGS\9920-01 - ASPEN POINTE_R7.DWG (17) SWALE PROFILES) [PLOTTED ON 3 Feb 2023 - 09:06]



CONCRETE/GRASS SWALE
AVERAGE SLOPE:1.01%

CONCRETE/GRASS SWALE
AVERAGE SLOPE:0.60%



LEGEND / NOTES

EX. W	EXISTING WATER MAIN
EX. R	EXISTING IRRIGATION MAIN
EX. S	EXISTING SANITARY SEWER
EX. ST.	EXISTING STORM SEWER
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING STORM CATCHBASIN
⊙	EXISTING CATCHBASIN MANHOLE
⊙	EXIST. HYDRANT
⊙	EXIST. VALVE
⊙	EXISTING CURB STOP
W	PROPOSED WATER MAIN
NEW R	PROPOSED IRRIGATION MAIN
S	PROPOSED SANITARY SEWER
ST.	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY MANHOLE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CATCHBASIN
⊙	PROPOSED CATCHBASIN MANHOLE
⊙	PROPOSED HYDRANT
⊙	PROPOSED VALVE
⊙	PROPOSED CURB STOP
---	EXISTING PROPERTY LINES
---	FENCE

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
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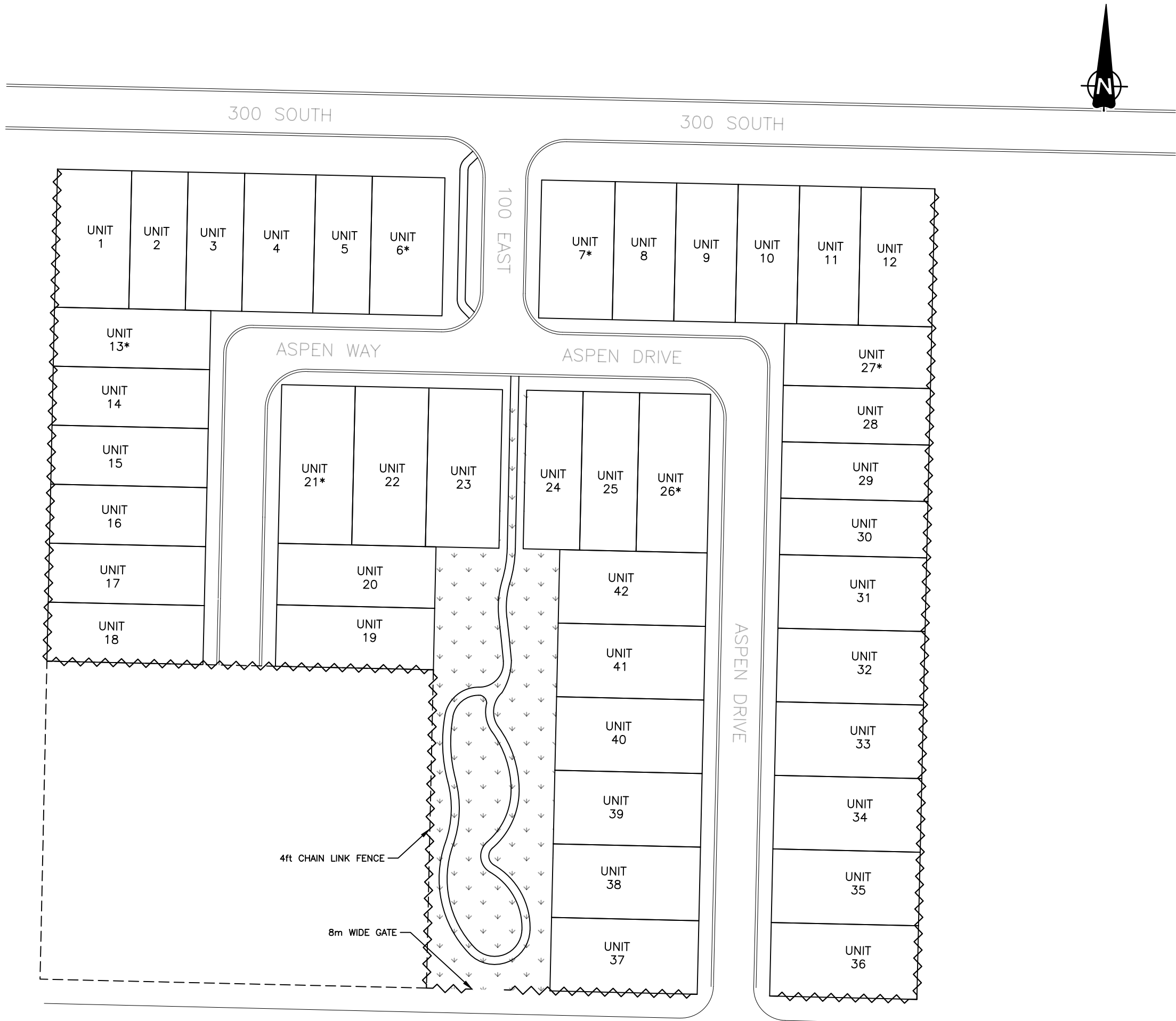
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
SWALE PROFILES

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 17

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LEGEND / NOTES

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— EX. R —

— EX. S —

— EX. ST. —

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EXISTING WATER MAIN

EXISTING IRRIGATION MAIN

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING STORM CATCHBASIN

EXISTING CATCHBASIN MANHOLE

EXIST. HYDRANT

EXIST. VALVE

EXISTING CURB STOP

PROPOSED WATER MAIN

PROPOSED IRRIGATION MAIN

PROPOSED SANITARY SEWER

PROPOSED STORM SEWER

PROPOSED SANITARY MANHOLE

PROPOSED STORM MANHOLE

PROPOSED STORM CATCHBASIN

PROPOSED CATCHBASIN MANHOLE

PROPOSED HYDRANT

PROPOSED VALVE

PROPOSED CURB STOP

EXISTING PROPERTY LINES

FENCE

1	23NOV'22	FOR REVIEW
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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
FENCE PLAN

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 18

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LEGEND / NOTES

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— EX. R —

— EX. S —

— EX. ST. —















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EXISTING WATER MAIN

EXISTING IRRIGATION MAIN

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING STORM CATCHBASIN

EXISTING CATCHBASIN MANHOLE

EXIST. HYDRANT

EXIST. VALVE

EXISTING CURB STOP

PROPOSED WATER MAIN

PROPOSED IRRIGATION MAIN

PROPOSED SANITARY SEWER

PROPOSED STORM SEWER

PROPOSED SANITARY MANHOLE

PROPOSED STORM MANHOLE

PROPOSED STORM CATCHBASIN

PROPOSED CATCHBASIN MANHOLE

PROPOSED HYDRANT

PROPOSED VALVE

PROPOSED CURB STOP

BUILDING SETBACKS

IRRIGATION SERVICE POINT

1	23NOV'22	FOR REVIEW
0	30AUG'22	FOR REVIEW
ISSUE	DATE	REVISION DESCRIPTION

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Raymond, Alberta

RIDGELAND DEVELOPMENTS LTD

HOMES AT ASPEN POINTE
SENIOR DEVELOPMENT
LOT SETBACKS

DESIGNED: DL	CHECKED: DJW
DRAWN: DL	JOB: 9920-01
SCALE: 1:1000	DIMENSIONS: METERS
DATE: 23 NOVEMBER 2022	DRAWING No: 19



55+Adult Active Living Community

Architectural Design Guidelines and Controls



January 30, 2023 3.0



Authored by: Greg Peterson



Architectural Guidelines

1.0 Introduction

The *Architectural Design Guidelines and Controls* for The Homes at Aspen Pointe establish the character of the community and ultimately maintain the integrity of the community for years to come. The guidelines and controls aim to ensure that the community presents an impression of quality yet recognizes the importance of a cost-effective housing project.

These *Architectural Design Guidelines and Controls* will ensure that this project, once completed, will reflect the style and the integrity of The Developer and its participating builders in the project, and as such, the homeowners will be the ultimate beneficiaries. This document outlines the opportunities and limitations associated with this development, and provides a set of guidelines, which at the initial design/construction phase of the homes will direct home buyers, designers, and builders toward an aesthetically pleasing development.

RIDGELAND DEVELOPMENTS Ltd. (Developer), from time to time in its sole discretion acting responsibly or as required by any government authority, may change, vary or modify these *Architectural Design Guidelines and Controls*.

All homes will be constructed in compliance with all municipal, provincial, and federal codes and regulations as currently published.

Note: Compliance with these *Architectural Design Guidelines and Controls* DOES NOT supersede the required approvals of the Town of Raymond.

The builders and purchasers agree that the Developer will, in its sole and unfettered discretion, interpret, implement, and enforce these *Architectural Design Guidelines and Controls*. The builders and purchasers agree to be bound by these *Architectural Design Guidelines and Controls*. The builders and purchasers acknowledge and agree that the Developer may need to vary these *Architectural Design Guidelines and Controls* at its discretion on a site-specific basis.

In order to maintain a consistent level of quality for the subdivision, the Developer has hired an Architectural Coordinator to review each plan created by the builders. The Architectural Coordinator compares the builders' plans to the *Architectural Design Guidelines and Controls* and applies them consistently. This ensures the overall streetscape embodies the design principles intended. The process requires the Architectural Coordinator to exercise professional judgment in reviewing individual housing plans.

2.0 Objective

The objective of the *Architectural Design Guidelines and Controls* is to achieve the highest standard possible of visual appeal and streetscape for the residents in a cost-effective manner. It must also offer enough variety of lifestyle choices to build and sustain a vibrant neighborhood.

These guidelines are for the ultimate protection of the new homeowner, intended to protect homeowners from other houses being built to lesser standards that may detract from the value of the neighborhood. These *Architectural Design Guidelines and Controls* are the mechanism which will contribute towards a high level of quality of design and integrate this project with the surrounding community.

Each house plan application will be reviewed in terms of its adherence to the *Architectural Design Guidelines and Controls* set out in this document. Without being rigid, the Developer may require certain modifications to the house plans and/or specifications to reflect the spirit and intent of the *Architectural Design Guidelines and Controls* or to take advantage of unique lot features or characteristics.

Builders may submit alternative details to those outlined in these, providing they conform to the overall objectives of the project and maintain the overall quality of the streetscape and appearance. The acceptance of such alternatives will be at the sole discretion of the Developer. Outlining the opportunities and constraints of building, this *Architectural Design Guidelines and Controls* will assist builders, designers and home buyers in achieving problem-free construction.

3.0 Architectural Influencing Style and Vision

The character of The Homes at Aspen Pointe shall reflect the traditional Craftsman architectural style with contemporary design interpretations.

The following outlines the architectural characteristics envisioned for Aspen Pointe.

Homes in Aspen Pointe will reflect a “Craftsman Style Home” theme. Such homes are characterized by:

The level of detailing shall capture the essence of the style, incorporate distinctive architectural elements and place emphasis on the front entry area.

The Craftsman Style Home are characterized by:

- Main entry to be the dominant feature of the home. Full width entry porches are common on the front elevation with the main roof extending to cover the porch.
- Wood detailing, side gable roofs accentuated by wide overhangs.
- Gabled or hip roofs with inset front facing gables, minimum 5/12 roof pitch and maximum 7/12 with minimum 24” and maximum 36” overhangs.
- Massing reflects an articulated façade with variations in plane and roof lines.
- Entry porch enclosed with a roof line at the first level.
- Columns/posts are minimum 10” panel clad with collar trims or a substantial upper post with oversized base, typically stone clad. Partial width porches often have a front gabled roof matching the pitch and detailing of the main gables and are typically supported by heavy battered (tapered) square columns although a variety of column configurations are used. The columns and plinths are usually massive in appearance, emphasized by the battered (tapered) column piers.
- Decorative attic vents.
- The columns, balustrades and brackets are typically painted wood with stone or wood shingled bases.
- Craftsman style homes are finished in traditional profile composite lap siding.
- Simple raised trim details are composite “Smart Board” or equivalent.
- Trims are minimum 4” and may include a sill detail.
- Additional finishes at visible elevations are layered horizontally and include flat panel with raised battens, shakes and Board & Batten vertical siding. Stone is applied in panel effect.

- All gables to include 6" shadow band and stepped shadow bands are recommended.
- Windows are vertical in orientation with minimum 5/8" grills in traditional pattern.
- Colors suited to the Craftsman style are dark and medium earth tones accented by light contrasting trims.



Contemporary Craftsman Architectural Style

To assist builders in meeting the architectural style, several examples of Contemporary Craftsman homes are included in Appendix "A". Each one of these examples has a different approach to the Contemporary Craftsman Style and some of the elements will be required on each home which is approved for building and conforms with the general trend of the neighborhood.

4.0 Design Guidelines

4.1 General

Home designs, siting and grading of homes and the overall architectural appearance of the community will reflect the melding of traditional design with the practicality of current trends, to meet the needs of today's homeowners for personal comfort, safety, and efficiency with the result being a harmonious, attractive and desirable neighborhood. The front home width of all homes are highly encouraged to extend the width of the building pocket.

4.2 Windows and Doors

The placement of windows and doors on building elevations should create proportionate, balanced, and rhythmic compositions.

Front entry doors are to be designed compatible with the house style and to contain glazing or sidelight in lieu of door glazing. Fanlight or sunburst door glazing is not permitted.

Craftsman windows are typically taller than wide and grouped in multiple units. All front elevations visible from public view are encouraged to use window grids or muntin bars (real or simulated) to divide windows into individual-appearing windowpanes.

Windows (on highly visible elevations) should be centered on the building mass, aligned both horizontally and vertically (except where functional or structural composition of the structure warrants otherwise). All window openings with should be trimmed with decorative "Smart Board" (or equivalent) molding a minimum of 4" – 6" wide. Trims are to be applied consistent with house style.

Window frames and casements are highly encouraged to reflect the color scheme of the home.

4.3 Porches

All houses are required to have a covered front porch which shall have a minimum depth of 6 feet.

The following is a list of requirements for porches:

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- All front porches are required to have a solid skirt. Vinyl or treated wood will not be accepted. “Smart Board” or equivalent panel with 4 inch trim to hide panel edges is the recommended skirting material.
 - Front entry steps are restricted to a maximum of four risers per set. Where the grade or design calls for more than four risers, the run must be split.
 - Wood exterior stairs are required to have closed risers. All vertical surfaces of wood are required to be stained or painted;
 - Acceptable railing is aluminum pickets. Treated wood railing will not be permitted.

4.4 Cantilevers

Because cantilevers are not a feature of Craftsman design, no cantilevers are permitted at the front of the house. Box beams or corbels added to indicate a strong structure at the base would be considered.

4.5 Front Drive Garages

- Front drive attached garages are required on all lots where zoning allows and must be double car width as a minimum. If the setback is greater than 10 feet, design elements will need to be incorporated into the garage wall, such as returning masonry around the garage back to entrance, adding window etc.
- To minimize the garage door impact on the front, street-facing elevation, the front of the garage is recommended not extend more than 10 feet from the face of the porch.
- Garages over 22 feet wide may require two doors at minimum; staggered or jogged garage face is encouraged.
- The maximum garage door height is 8 feet.
- It is important to maintain a close relationship between the bottom of the garage eave line and the top of the garage door, i.e. a maximum of 18 inches (450mm) above the garage door or suitable alternative treatment.
- Garage door specifications are to be a minimum of Overhead Door Traditional Courtyard Collection or Clopay Gallery Collection and Carriage Craft CC10/CC-16 (from Lethbridge Overhead Door) or approved equivalent from another supplier.
- The use of glass panels in overhead doors is required for all lots.

-
- The corners of overhead doors must be straight. Angled corners are not permitted.

4.6 Driveways

- Driveways shall be required to be concrete.
- Driveways shall be constructed in a manner which will permit adequate drainage, snow removal and maintenance.
- All sidewalks leading to the main entrances are to match the driveway material.
- One driveway per lot is permitted for single-detached residential development.
- Driveway standards for residential use are as follows:
 - a. Minimum width: 6.1 m (20 ft.)
 - b. Maximum width: 18.0 m (30 ft.)
 - c. Setback from lane: 3.0 m (10 ft.)
 - d. Setback from intersection of public roadways: 6.1 m (20 ft.)

4.7 Massing

- The minimum roof slope of all homes will be 5:12 and a maximum roof slope of 7:12.
- Roof pitches will be adjusted to maintain and control the flow of the streetscape, especially on corner lots or special treatment areas.
- Exterior features, including the roof design, may be modified by the Architectural Coordinator to vary the street appeal of the project as site-specific conditions may dictate. All elements of the house design are to be consistent with the Craftsman Style of home.

4.8 Rear Elevations of Homes Backing onto Green Space

All rear elevations that back onto Open Space will require some additional detailing on the rear elevations. This treatment will be required as these lots are in very prominent locations with high visibility from a number of different locations. The rear elevations must be visually enhanced with the use of additional detailing, such as box outs, chimney chases, shadow battens, decking (where appropriate) and trim around windows (to be a minimum of battens around the windows and shadow boards under the soffit line). The following is a list of additional requirements:

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- Rear gable treatment is to match front gables.
 - Decks on green spaces are to be built at the time of house construction and have a minimum of 10 inches X 10 inches support posts with top and bottom capitals. Decks must be shown on submitted drawings and plot plans.
 - Rear decks that are between 1.5 feet and 4 feet from top of joist to top of grade must be skirted with a smooth surface. “Smart Board” or equivalent panel with 4 inch trim to hide panel edges is the recommended skirting material;
 - Columns and skirting are to be painted to match the rest of the exterior.

4.9 Corner Lots

Special attention must be paid to side elevations and side yard setbacks on all corner lots.

- The side elevations should have the same level of architectural treatment, i.e. box outs, detailed battens, stone/brick as the front elevation, as it is even more visible than the front elevation from the street.
- Principal roof planes must slope toward both street frontages. Detail and architectural style must be similar to the front and be carried down the side and the rear of the house. Side elevations on all corner lots must be approved by the Architectural Coordinator.
- Flanking side elevation on corner lots must have full front elevation treatment.
- Appropriate roof overhangs
- Number of openings suited to wall area (avoid blank wall space)
- Detailing consistent with the front elevation, including grills and trims window configuration and groupings consistent with front and styling
- Appropriate massing

4.10 Repetition of Designs

- House designs with similar elevations must not be repeated more than every 3rd house (“ABCABC”) on the same side of the street. The Developer may alter these criteria at its sole discretion, upon application by a builder on a site-specific basis.

-
- While similar house floor plans may occur along a section of street, differences such as changes in direction of roof slopes, size and location of windows and doors etc. will be required.
 - Repetitive use of elevations will be monitored to ensure an interesting and varied streetscape.

4.11 Standardized House Address Numbers

The following guidelines should apply to municipal address numbers:

- The Developer will provide a consistent approach to municipal address signage that reflects the quality level sought for this community.

4.12 Address Plaque

The Developer will provide a standardized address plaque, which is a requirement on all homes. Address plaques must be ordered through the Developer and to be installed by the Builder.

4.13 Front Entries

The front entry of a home is aesthetically, functionally and socially important to the design of both the individual home and the streetscape. A visible and well-designed entry area promotes an individual sense of address and collective sense of community and safety by providing “eyes on the street.”

- Front porches shall be the focal point of the home
- Extension of house design
- Porches should be deep enough for seating (minimum depth of 6')
- Main entry should provide shelter from the weather
- Metal handrails are to be installed on all porches.

4.14 Decks

- All decks higher than 4'0" above finished grade is to have the supporting columns to be a minimum of 10 inches x10 inches and be complete with capping detail top and bottom, along with a painted or claded deck edge and beam.

-
- Landscape patios are an acceptable alternative, however must be detailed on the submitted site plan and are subject to the same completion requirements as deck construction noted above.
 - All decks that back onto a green space are required to be completed at the time of construction completion.
 - Metal handrails to consist of a top and bottom rail with vertical pickets.
 - Enclosed decks shall match the exterior finish of the main home structure. Elevations of deck enclosure to be submitted to Architectural Coordinator for approval.
 - Lattice panels are not acceptable material for skirting.

4.15 Fencing

The only fencing permitted will be the subdivision boundary fencing as outlined in the Conceptual Design Scheme.

The Aspen Pointe Direct Control District prohibits internal fencing in the front yard, side yard, secondary front yard, and rear yard fencing.

4.16 Exterior Lighting

- All homes will require soffit lighting. All upper soffits and any soffits over the garage will require recessed pot lights to be installed in the soffit to give a presence to The Homes at Aspen Pointe.
- The location of soffit lighting will be required to be shown on the elevations and electrical plan at the time of submission for architectural approval.
- All corner lots will require soffit lighting on the side elevation.
- No wall mounted exterior lighting will be permitted.

****** Any alternative soffit lighting will require pre-approval from Architectural Coordinator.

5.0 Exterior Finishes, Materials, Colors & Specialties

5.1 Windows

Window frames and casements are highly encouraged to reflect the colour scheme of the home.

5.2 Soffit and Fascia

- Soffits and fascia shall be prefinished aluminum. All downspouts and eaves troughing shall be aluminum. Roof overhangs to be a minimum of 24 inches and a maximum of 36 inches with minimum 6-inch fascia.

5.3 Roofs

Roof pitches shall be a minimum of 5/12 and a maximum of 7/12.

- Flashing should be colored to match the cladding around it;
- Skylights and roof vents should be located so they are not visible from the street;
- All roof and gas vents shall be colored or painted to match the roof color

5.4 Roof Materials

Asphalt shingles are the preferred roofing material but other roofing materials will be reviewed, subject to design merit; and Roof must be a minimum of architectural type asphalt shingles as follows:

BP HARMONY

- Charcoal Grey
- Graphite Black
- Granite Black
- Shadow Black

IKO Cambridge

- Harvard Slate
- Dual Black

5.5 Exterior Materials

Natural colour tones of materials are preferred, and medium and dark earth tones strongly encouraged. Consideration must be given to enhancing the architectural details found on the home.

Allowable exterior cladding materials include:

- Fiber cement siding (Hardie plank lap siding, Hardie Shingle Siding, Hardie Panel Vertical Siding)
- Brick
- Stone tile

Special care and attention should be given to the design of elevations with material combinations, which will be reviewed on individual design merit with respect to:

- Maintaining consistency of detail.
- Material transitions occurring near the front corners shall be returned to a natural or logical break point, such as a plane change or jog.

Alternatively, a material transition could be permitted to occur at 4'-0" if there is no logical break and is subject to design merit.

Siding Detailing

- Siding refers to the application of clapboard, board and batten, as well as shakes. These siding products may be used as primary cladding material or as an accent.
- Siding elevations are also encouraged to incorporate some masonry elements to provide additional architectural interest.
- Houses that are predominately clad with siding shall introduce enhanced architectural elements and higher level of trim detailing
- Trim boards shall be provided around all door and window openings, corners, and include a continuous frieze board detail under all eaves. 150mm (6") is considered a minimum board width on publicly exposed elevations, where larger widths are appropriate for window and door casings and frieze boards or cornices. Smaller windows and surrounds may be used in areas of reduced visibility.

5.6 Color Scheme

The approval of any colour scheme will be at the sole discretion of the Architectural Coordinator, having regard to the adjacent homes and general ambience of the neighborhood.

In order to achieve variety on the streetscapes, careful attention should be given to the selection of building color packages and the repetition of similar colors.

- A minimum of two houses shall separate houses with the same exterior color package.
- The same exterior color package should not be located across the street from one another.

-
- Identical color packages should not make up more than 30% of any streetscape block.
 - Exterior pastel colours schemes are not permitted
 - Overhead doors are to match either the main or trim color.

5.7 Battens & Trim

- All battens and window trim to be a minimum of 4 - 6 inches wide.
- Painted “Smart Board” or equivalent are encouraged, aluminum is permitted at a minimum.
- Unique craftsman exterior trim details encouraged and are consistent with the style of the home.

5.8 Parging

Special attention to be given to the treatment of exposed concrete foundation walls.

- Foundation parging required on all four sides of the house.
- Height of parging on all elevations shall be a maximum 24 inches above grade.

5.9 Chimneys, Metal Flues & Roof Vents

- Where practicable, all furnace and roof vents shall be located on a rear slope of the roof or wherever it is least visible to the street.
- Direct vent fireplaces must not vent to the front.

5.10 Brick

- The brick design on the home must incorporate soldier coursing, row lock-coursing, etc. Two-tone brick or a mix of masonry products will be reviewed on a case-by-case basis
- Very light, buff, or white masonry colours are not permitted.

5.11 Stucco

Stucco will not be permitted as exterior cladding material in The Homes at Aspen Pointe.

5.12 Siding

Fiber Cement siding “Hardie Board” or equivalent material is recommended for the exterior cladding finish. Darker colour pallets are to dominate the tonal colour scheme. Example: Dark grey siding with light grey trim. White or lighter trim colours will only be permitted depending on exterior design.

Overhead doors are to match the main or trim colour.

Color Palette:

Cobblestone

Navajo Beige

Monterey Taupe

Khaki Brown

Timber Bark

Pearl Gray

Light Mist

Gray Slate

Night Gray

Boothbay Blue

Evening Blue

Aged Pewter

Iron Gray

Deep Ocean

Woodstock Brown

Rich Espresso

Mountain Sage

*Pastel colour schemes are not permitted.

5.13 Columns & Pillars

- All columns or pillars are to be a minimum of 10”x 10”.
- All siding corner boards must match the trim or siding colors
- Solid in appearance
- Column details are to be consistent with the style of the home.
- Vinyl siding and metal cladding on columns is not acceptable.
- All columns are to be clad with a minimum of “Smart Board” or equivalent panel board or stone are to match the colour scheme of the home.

6.0 Other Important Guidelines

6.1 Excavation Material

Builders must ensure that all excavation material to be kept within the confines of their lots. Any spillage onto a road, sidewalk or neighboring lot shall be removed immediately. If not removed immediately, the Developer will move the offending material and invoice the builder responsible.

6.2 Landscaping

It is the responsibility of the homeowner to landscape the front yard, side yards and rear yard. In the case of corner lots, the front yard shall include the flanking side yard, curb or boulevard and to the corner of the home.

- Builders are required to place topsoil in the front and rear yards.

Detailed landscaping requirements are as follows:

- Full Yard Landscaping
- All builders are required to sod up to the foundation. This is to be completed at the time of final grading.

Minimum Requirements

All lots landscaping includes:

- One deciduous tree in front yard
- Sod
- Mulch, aggregates, and wood bark
- Washed rock
- Decorative rock.
- Lava rock
- Edging may be landscape vinyl, brick, stone, or wood landscape ties.
*Treated railway ties are not permitted for landscaping purposes.
- Side yards between houses- washed rock
- Large areas of rock or mulch will not be permitted in the front yard and highly visible rear yards.

Note: No decorative objects, such as sculptures, fountains, etc., shall be placed or installed on the street side of any lot without prior approval. Any yard ornamentation must be of sufficient quality and scale to be in keeping with the high

aesthetic standards required in the community and will not impede lawn maintenance or snow removal. Artificial plants in pots or other containers shall not be approved.

6.3 Maintenance Services

All landscaping and snow removal shall be maintained on a regular basis and shall be the responsibility of the Developer until such time as a Home Owners Association (HOA) is created and shall include watering, weeding, mowing, fertilizing, treating, pruning, removal and/or replacement of dead or diseased materials and debris so as to present a healthy, neat, and well-kept appearance at all times.

A yearly maintenance fee shall be charged to each home owner to be set by the Developer until a Home Owners Association (HOA) is created.

6.4 Water Conservation

To save water and protect the environment, Builders are encouraged to use low flush toilets. Aerated shower heads and hot water looping (to provide instant hot water) are encouraged.

6.5 Appearance During Construction

Each builder is required to keep their lots and building sites clean and orderly during construction. Builders should encourage timely removal by sub-trades of litter on building sites. No debris or materials is to be stored on adjacent lots.

There will be no burning of garbage. Garbage bins are mandatory, will be supplied by each builder, and used for the disposal of garbage.

If compliance of this condition is not met, and the Developer believes a cleanup is necessary, then the builder will be back-charged for the costs of same incurred by the Developer.

6.6 Signage

The Developer will provide directional signage to the subdivision.

6.7 Sedimentation/Erosion Control

The Builder is responsible for adhering to the Erosion and Sedimentation Controls Plan as prepared by the Engineer and for their trades and contractors tracking mud onto the roadway.

6.8 Builder's Responsibilities

- The granting of an architectural design approval by the Architectural Coordinator does not release the Builder/purchaser from the obligation to comply with all municipal bylaws, building codes, statutes and regulations that are applicable to the development and are imposed by law.
- The Developer and Architectural Coordinator will not be responsible for any disputes arising from these guidelines.
- If at the time of construction on site, errors or discrepancies are noticed from information received at the time of approval, or from engineering drawings, or from existing site grading, or existing homes, the Builder is to contact the Architectural Coordinator so that the discrepancy may be reviewed, and adjustments made to accommodate the existing site construction.
- Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on his lot, and must submit written notice of any damages to the Developer prior to commencing construction, otherwise costs for repairing any damages become the sole responsibility of the Builder.
- The cost of repair due to builder damage to any underground utilities, roads, trees, drainage, or other items will be charged back to the Builder.

6.9 Disclaimer

No approval by the Architectural Coordinator or its other consultants shall constitute compliance with any engineering requirements or any legal requirements of the Town of Raymond or any other government agency or body, all of which are the sole responsibility of the Builder.

The Developer and/or the Architectural Coordinator are not responsible for ensuring that the Builder's house plans comply with copyright laws etc.

The house plan approval process will be provided as a service by the Developer. While care is taken to provide precise data, the Developer and its Architectural Coordinator and other consultants assume no responsibility for the accuracy of the information given in documents, or for any losses or damages resulting from the use thereof. It remains the responsibility of the Builder to ensure that the construction of any buildings on the lot conform with Provincial and/or Municipal laws, regulations, by-

laws or other enactments and encumbrances affecting the title to the lot, including, without limitation, utility right-of-way, easements, and restrictive covenants.

The Builder is also responsible for the provision of all bearing certificates and footing elevation certificates which may be required for the installation of sulphate resistant concrete, additional foundation reinforcement design or any other precautions in foundations where necessary.

THE DEVELOPER AND ITS ARCHITECTURAL COORDINATOR AND OTHER CONSULTANTS ASSUME NO RESPONSIBILITY TO ENSURE THAT THE BUILDING COMPLIES WITH ANY OF THE FOREGOING

6.10 Severability

If any provision hereof is made void or rendered invalid or unenforceable by any law from time to time in force in the Province of Alberta, or if any provision hereof is determined by any court of competent jurisdiction to not be a covenant running with the land, the same shall not invalidate or render in any way unenforceable any of the remaining provisions of these *Architectural Design Guidelines and Controls*.

7.0 Procedures

7.1 Approval Process

Before applying to the Town of Raymond for a Building Permit, the applicant must submit for *Architectural Design Guidelines and Controls* Approval an electronic PDF format copy of the following information to the Architectural Coordinator.

Architectural Drawings:

- o Drawings of the home (all Elevations (one per page), Floor Plans, Basement Plan and CrossSections dimensioned to a scale of 1/8" = 1'-0").
- o Drawing of all four elevations formatted to 11" x 17" or less, suitable for reproduction and printing.
 - o Landscaping plan
 - o Exterior lighting plan

Engineered Plot Plan

The preparation of plot plans and stakeout must be carried out by the *Designated Surveyor only*. Plot plan must include:

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- Scale 1:300 metric with north arrow and municipal address;
 - Legal description of the property;
 - All property lines, designated and dimensioned;
 - Size and location of proposed building dimensioned to property lines;
 - All cantilevers;
 - Spot elevations around building and drainage directions;
 - Dimensions from property line to face of curb;

A completed Application Form indicating:

- colors for all portions of the exterior of the home;
- materials;
- and all other information as relevant or requested by the Developer.

The Architectural Coordinator reviews:

- The submitted complete set of construction drawings for compliance with the *Architectural Design Guidelines and Controls*;
- Colour scheme for repetition and appearance.
 - reviews the plans and recommends approval, modification, or rejection based on the adherence to the *Architectural Design Guidelines and Controls* approval.

Engineering Consultant reviews:

- Grades for compliance with the Building Grade Plan and adjacent lots.

Should a dispute arise, the Developer and Engineering Consultant shall make the final decision on the acceptability of plans.

After approval, the submitted plans may not be altered without prior approval.

Builder submits:

- plans and plot plan to the Town of Raymond for a development and building permit.
- Any substantial revisions to the Plans after approval that affect the exterior elevation, plot plan or exterior colours are to be resubmitted to the Architectural Coordinator for approval and subject to \$250.00 Change Fee.

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- The Developer or Architectural Coordinator may carry out on-site inspections from time to time to ensure compliance by the builder to the *Architectural Design Guidelines and Controls* approval. Any infractions will be noted, and the builder will be requested to rectify the situation.

Prior to building, the Builder inspects the lot and all services. All discrepancies or damages are to be reported in writing with the application and a copy forwarded to the Developer.

- Upon completion of the construction including the grading and loaming of the lot, the builder shall notify the Developer in writing (using the As Built Lot Inspection Form) and including 2 photographs of the front and rear elevations of the home. The Engineering Consultant will then do a final lot inspection, checking for compliance with the engineering drawings, lot grading and for any damage to the adjacent improvements. If additional inspections are required after the initial final inspection the builder is subject to a fee per inspection to be payable to the Developer.
- The Architectural Coordinator provides either approval or requirements to obtain approval. Non-compliance or damage will result in the Developer invoicing the Builder for the infraction.

7.2 Compliance/Performance Deposits

To encourage and ensure compliance with the *Architectural Design Guidelines and Controls*, a performance deposit in an amount set by the Developer is required prior to the release of the architectural approval.

No construction can start prior to the release of the architectural approval and the approval of a Town of Raymond development and building permit.

The builder should note that due to the topography of the site, footing checks will be carried out in this project by the builder and the builder's surveyor. It is the builder's responsibility to contact their own legal surveyor prior to the pouring of the footing, but after the installation of the footing form work to get a footing check.

7.3 Compliance/Performance Deposit Refund

Upon receipt of the Final Inspection Report, the Developer will refund the Compliance Deposit less any outstanding for damage caused by the builder or its sub-contractors or agents to the following:

- Curb Stop
- Sidewalks, curbs, and gutters
- Driveway aprons and asphalt
- Boulevards, Landscaped Areas, and Trees
- Rear gutters and walkways
- Light standards
- Fire Hydrants
- Grading and Drainage Swales
- Fencing
- TELUS, Cable TV, and Telephone Structures
- Retaining Walls
- Sedimentation/Erosion
- Garbage, fill material, debris left on other lots or areas of the subdivision.

8.0 Schedule of Responsibilities

Function / Contact Person	Company / Address	Telephone / Email
Developer Contact Person	RIDGELAND Developments Ltd Greg Peterson	403. 915.3006 greg.p@rkheggie.com
Designated Engineering Consultant Contact Person	Wilde Bros. Engineering Darrin Wilde	403.752.0180
Architectural Coordinator Contact Person	TBA	
Real Estate Agent Contact Person	TBA	
Legal Services Contact Person	TBA	

Appendix “A”

Examples of Contemporary Craftsman Architectural Style











55+ Active Adult Living Homes

